

SIGNAGE LEGEND	
NJDOT NO.	LEGEND
R1-1 30" X 30"	STOP
R7-8	RESERVED PARKING THIS SIGN TYPICAL AT ALL ACCESSIBLE PARKING VAN ACCESSIBLE THIS SIGN TYPICAL AT ALL VAN ACCESSIBLE PARKING SPACES PENALTY SIGN WITH WORDING AS REQUIRED BY STATE OR LOCAL LAW

SITE PLAN LEGEND	
	BUILDING
	CONCRETE AREA/SIDEWALK
	HEAVY DUTY ASPHALT
	STRIPING
	RETAINING WALL
	CONCRETE CURB
	SUBDIVISION LINE
	PROPERTY LINE
	BUILDING SETBACK LINE
	LANDSCAPE BUFFER LINE
	FENCE
	RIGHT-OF-WAY
	STORMWATER MANAGEMENT BASIN
	STORMWATER QUALITY BASIN
	WETLAND
	WETLAND BUFFER
	RIPIARIAN BUFFER
	STREAM BANK

Proposed Water Quality Feature	Feature Name	% of Basin Within Landscape Buffer
Bioretention Basin	B-1C	0%
Bioretention Basin	B-1D	0%
Bioretention Basin	B-1E	0%
Bioretention Basin	B-1F	100%
Bioretention Basin	B-1G	5%
Bioretention Basin	B-1H	0%
Bioretention Basin	B-1I	0%
Bioretention Basin	B-1J	0%
Bioretention Basin	B-1K	0%
Bioretention Basin	B-1L	5%
Bioretention Basin	B-1M	0%
Bioretention Basin	B-1N	30%
Bioretention Basin	B-1O	40%
Bioretention Basin	B-1P	0%
Bioretention Basin	B-1Q	45%
Bioretention Basin	B-1R	0%
Bioretention Basin	B-1S	0%
Bioretention Basin	B-1T	35%
Bioretention Basin	B-1U	45%
Bioretention Basin	B-1V	90%
Bioretention Basin	B-1W	45%
Bioretention Basin	B-1X	0%
Bioretention Basin	B-1Y	0%
Bioretention Basin	B-1Z	0%
Bioretention Basin	B-2A	0%
Bioretention Basin	B-2B	5%
Bioretention Basin	B-2C	15%
Bioretention Basin	B-2D	0%
Bioretention Basin	B-2E	0%
Bioretention Basin	B-2F	0%
Bioretention Basin	B-2G	0%
Bioretention Basin	B-2H	100%
Bioretention Basin	B-2I	100%
Bioretention Basin	B-2J	100%
Bioretention Basin	B-2K	0%
Bioretention Basin	B-2L	0%
Bioretention Basin	B-2M	5%
Bioretention Basin	B-2N	15%
Bioretention Basin	B-2O	15%
Bioretention Basin	B-2P	15%
Bioretention Basin	B-2Q	0%
Bioretention Basin	B-2R	0%
Bioretention Basin	B-2S	0%
Bioretention Basin	B-2T	0%
Bioretention Basin	B-2U	0%
Bioretention Basin	B-2V	0%
Bioretention Basin	B-2W	0%
Bioretention Basin	B-2X	0%
Bioretention Basin	B-2Y	0%
Bioretention Basin	B-2Z	0%
Bioretention Basin	B-3A	5%
Bioretention Basin	B-3B	0%
Bioretention Basin	B-3C	0%
Bioretention Basin	B-3D	0%
Bioretention Basin	B-3E	0%
Bioretention Basin	B-3F	0%
Bioretention Basin	B-3G	0%
Bioretention Basin	B-3H	0%
Bioretention Basin	B-3I	0%
Bioretention Basin	B-3J	0%
Bioretention Basin	B-3K	0%
Bioretention Basin	B-3L	0%
Bioretention Basin	B-3M	0%
Bioretention Basin	B-3N	0%
Bioretention Basin	B-3O	0%
Bioretention Basin	B-3P	0%
Bioretention Basin	B-3Q	0%
Bioretention Basin	B-3R	0%
Bioretention Basin	B-3S	0%
Bioretention Basin	B-3T	0%
Bioretention Basin	B-3U	0%
Bioretention Basin	B-3V	0%
Bioretention Basin	B-3W	0%
Bioretention Basin	B-3X	0%
Bioretention Basin	B-3Y	0%
Bioretention Basin	B-3Z	0%
Bioretention Basin	B-4A	5%
Bioretention Basin	B-4B	0%
Bioretention Basin	B-4C	0%
Bioretention Basin	B-4D	0%
Bioretention Basin	B-4E	0%
Bioretention Basin	B-4F	0%
Bioretention Basin	B-4G	0%
Bioretention Basin	B-4H	0%
Bioretention Basin	B-4I	0%
Bioretention Basin	B-4J	0%
Bioretention Basin	B-4K	0%
Bioretention Basin	B-4L	0%
Bioretention Basin	B-4M	0%
Bioretention Basin	B-4N	0%
Bioretention Basin	B-4O	0%
Bioretention Basin	B-4P	0%
Bioretention Basin	B-4Q	0%
Bioretention Basin	B-4R	0%
Bioretention Basin	B-4S	0%
Bioretention Basin	B-4T	0%
Bioretention Basin	B-4U	0%
Bioretention Basin	B-4V	0%
Bioretention Basin	B-4W	0%
Bioretention Basin	B-4X	0%
Bioretention Basin	B-4Y	0%
Bioretention Basin	B-4Z	0%

**PHASING:**  
 THE APPLICANT IS REQUESTING PRELIMINARY/FINAL SITE PLAN APPROVAL FOR PHASE 1 OF THE PROJECT. PHASE 1 INCLUDES BUILDINGS B1, E1, C1 AND ASSOCIATED ROADS AND PARKING.  
 THE APPLICANT IS REQUESTING PRELIMINARY SITE PLAN APPROVAL FOR PHASE 2 OF THE PROJECT. PHASE 2 INCLUDES BUILDINGS D1, B2-1, B2-2, A1 AND ASSOCIATED ROADS AND PARKING.  
**NOTE:**  
 ALL PROPOSED WAREHOUSE'S WILL BE "SOLAR READY"

SCHEDULE OF AREA, YARD, AND BULK REQUIREMENTS						
BLOCK 8, LOTS 1, 2, 3, 12, 16, 20, 28, 32.01, 39, 40, 41, 45, 46, 47, & 49						
BLOCK 15.14, LOTS 18, 19, 20, 22, & 75						
WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY						
Design Details	Required/Allowable	Provided				Is Variance Required? (Yes or No)
		Block 15.14 Proposed Lot 18.01	Block 15.14 Proposed Lot 18.02	Block 8 Proposed Lot 2.03	Block 8 Proposed Lot 2.04	
A. Use	Retail, service commercial, entertainment and hospitality uses located along Quakerbridge Road and US Route 1. Warehouse and distribution uses are encouraged within the remainder of the site.		Warehouse			No
B. Design Criteria						
Minimum Lot Size (Acres)	N/A	225.48	56.83	188.99	67.99	No
Minimum Lot Frontage (feet)	300	Quakerbridge Road: 201 Master Plan Road (N-S): 2,104 Master Plan Road (E-W): 1,261 Clarkville Road: 2,894	Clarkville Road: 1,108 Master Plan Road (N-S): 2,046 Master Plan Road (E-W): 1,120	Master Plan Road: 2,250 Clarkville Road: 2,386	US Route 1/Quakerbridge Road: 1,055 Master Plan Road: 2,405 Clarkville Road: 1,141	No
Minimum Lot Width (feet)	300	Quakerbridge Road: 125 Master Plan Road (N-S): 2,044 Master Plan Road (E-W): 1,275 Clarkville Road: 2,981	Clarkville Road: 1,098 Master Plan Road (N-S): 1,890 Master Plan Road (E-W): 1,093	Master Plan Road: 2,149 Clarkville Road: 2,406	US Route 1/Quakerbridge Road: 1,248 Master Plan Road: 2,308 Clarkville Road: 1,139	No
Minimum Front Yard (Quakerbridge Road) (feet)	50	N/A	N/A	N/A	50 <sup>(1)</sup>	No
Minimum Front Yard (US Route 1) (feet)	100	N/A	N/A	N/A	50 <sup>(1)</sup>	No
Minimum Front Yard (Clarkville Road) (feet)	100	247.60	237	264	234	No
Minimum Front Yard (Master Plan Road) (feet)	100	(N-S): 178 (E-W): 160	(N-S): 176 (E-W): 195	176	209	No
Minimum Rear Yard (feet)	50	N/A	N/A	N/A	N/A	N/A
Minimum Side Yard (feet)	40	92	274	N/A	N/A	N/A
Minimum Side Yard (feet)	For buildings less than or equal to 40 feet in height: 25 For buildings greater than 40 feet in height: 40	156	1,669	917	317	No
Minimum Yards Abutting Residential Districts		156 <sup>(3)</sup>	N/A	N/A	N/A	No
Minimum Distance Between Buildings (feet)	Increase minimum by 25 feet	25	328	N/A	N/A	No
Required Landscape Buffer		50	>50	N/A	50	No
From Quakerbridge Road and US Route 1 (feet)		25	>25	>25	>25	No
Required Landscape Buffer From Master Plan Road (feet)		75	>75	>75	>75	No
Required Landscape Buffer From Clarkville Road (feet)		75	>75	>75	>75	No
Max Impervious Lot Coverage		70%	69%	18%	70%	No

MAXIMUM BUILDING HEIGHT CALCULATION						
	A1	B1	B2-1	B2-2	C1	E1
FF EL <sup>(1)</sup>	100.0	92.5	90.0	94.0	88.0	86.0
Max. Precast Ht (ft) <sup>(2)</sup>	47.0	46.0	48.0	48.0	45.0	46.0
Max. Precast Ft (ft)	147.0	138.5	138.0	142.0	133.0	132.0

EXISTING GRADE CALCULATION <sup>(1)</sup>						
	A1	B1	B2-1	B2-2	C1	E1
Corner 1 EL	97.7	80.0	76.0	87.0	86.4	69.0
Corner 2 EL	92.0	83.8	82.5	88.0	77.8	74.3
Corner 3 EL	88.0	82.7	89.0	81.0	73.5	81.5
Corner 4 EL	91.7	86.0	81.8	95.0	100.0	91.7
Corner 5 EL	94.3	71.8	82.2	90.0	84.5	79.2
Avg. Existing Ft.	94.3	81.4	82.2	90.0	84.5	79.2

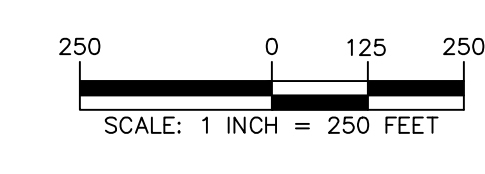
MAXIMUM BUILDING HEIGHT CALCULATION <sup>(1)</sup>						
	A1	B1	B2-1	B2-2	C1	E1
Building Height (ft)	52.3	57.4	55.6	51.8	50.0	54.8
COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES

BUILDING PERIMETER TABLE			
BUILDING	PERIMETER FRONTING STREET (FT)	TOTAL PERIMETER (FT)	% PERIMETER FRONTING STREET TO TOTAL PERIMETER
E1	2,689	5,157	52%
C1	3,234	4,979	65%
B1	1,669	4,432	38%
D1	2,219	4,439	50%
B2-1	2,189	4,278	50%
B2-2	2,198	4,398	50%
A1	496	2,920	17%

PARKING TABLE (TOWNSHIP ORDINANCE REQUIREMENTS)										
Building	Total (SF)	Office (SF)	Warehouse (SF)	Warehouse Parking (Spaces)	Office Parking (Spaces)	Total Required (Spaces)	Total Proposed (Spaces)	Total Proposed Trailer Stalls	Total Proposed Banked Spaces	Required / Proposed EV Parking
E1	1,186,092	35,583	1,320,509	293	147	372	460	186	67	15
C1	1,203,309	30,699	992,810	199	123	322	322	145	0	15
B1	800,698	23,011	776,677	155	96	251	288	292	0	12
D1	813,632	24,409	789,226	158	98	256	302	324	46	13
B2-1	695,274	20,858	674,416	135	83	218	288	265	7	11
B2-2	710,077	21,902	688,175	138	85	223	269	314	51	13
A1	334,032	10,021	324,011	65	40	105	124	62	29	4

**REQUIRED PARKING CALCULATIONS HAVE BEEN ROUNDED UP**

Notes:  
 1) Office space has been calculated to be 3% of total warehouse area.  
 2) Required 1 car stall per 5,000 SF of warehouse.  
 3) Required 1 car stall per 250 SF of office.  
 4) The Total Building Areas shown are for the entire building footprint (area within the outside building edge).  
 5) 1 EV parking space must be ADA.



Date	Description	No.
2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1

REVISIONS

*Chris Roche*  
 SIGNATURE CHRISTIAN ROCHE 11/12/2021  
 PROFESSIONAL ENGINEER NJ Lic. No. 240E04988100

**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 989 Lenox Drive, Suite 124  
 Lawrenceville, NJ 08648  
 T: 609.282.8000 F: 609.282.8001 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION No. 24G04988100

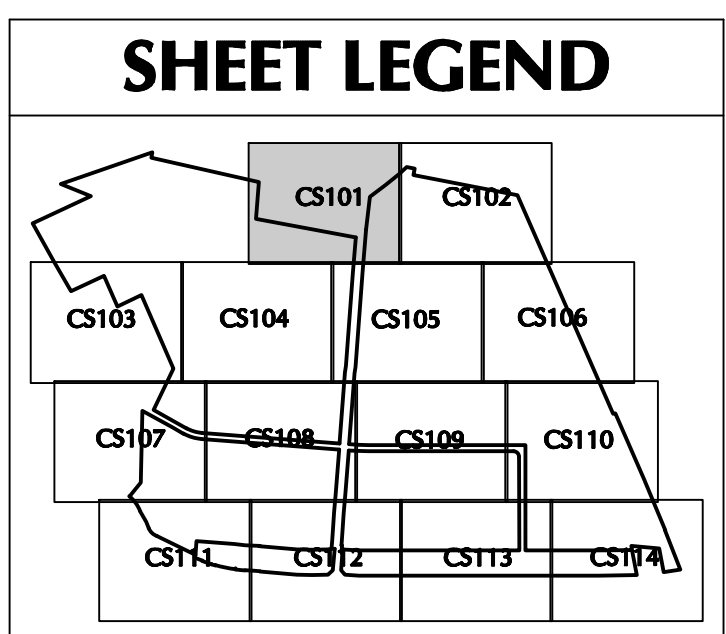
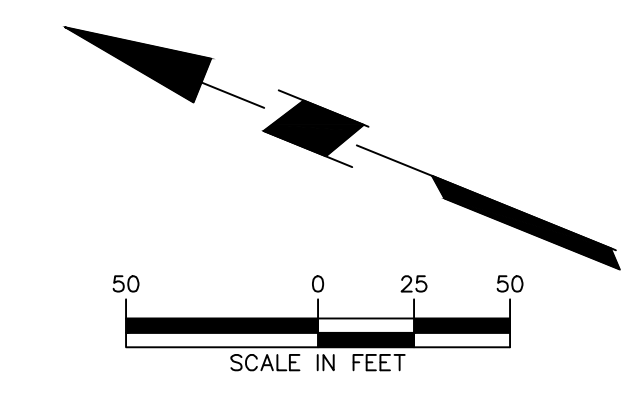
Project **BRIDGE POINT 8 INDUSTRIAL PARK**  
 WEST WINDSOR TOWNSHIP  
 Drawing Title

MERCER COUNTY NEW JERSEY

**OVERALL SITE PLAN**

Project No. **13012801**  
 Drawing No. **CS100**  
 Date **12/03/2021**  
 Drawn By **WRB**  
 Checked By **CMR**





**SITE PLAN LEGEND**

[Symbol]	REINFORCED TURF
[Symbol]	WAREHOUSE BUILDING
[Symbol]	CONCRETE AREA/SIDEWALK
[Symbol]	STONE STRIP
[Symbol]	GRAVEL BASIN ENTRANCE
[Symbol]	CONCRETE CURB
[Symbol]	BUILDING OVERHANG
[Symbol]	RETAINING WALL
[Symbol]	DOOR
[Symbol]	PROPERTY LINE
[Symbol]	BUILDING SETBACK LINE
[Symbol]	LANDSCAPE BUFFER LINE
[Symbol]	FENCE
[Symbol]	HANCOCK RIGHT-OF-WAY
[Symbol]	DEPRESSED CURB
[Symbol]	ADA RAMP WITH DETECTABLE WARNING SURFACE
[Symbol]	PARKING STALL COUNT
[Symbol]	ADA PARKING STALL
[Symbol]	STRIPING
[Symbol]	SIGN
[Symbol]	BOLLARDS
[Symbol]	DOCK DOOR
[Symbol]	DIRECTIONAL ARROWS
[Symbol]	CURB STOP
[Symbol]	STOP BAR
[Symbol]	INFILTRATION BASIN
[Symbol]	MONUMENT SIGN
[Symbol]	SOUNDWALL
[Symbol]	STAIRS
[Symbol]	FIRE LANE STRIPING

Date	Description	No.
2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions	1

**REVISIONS**

*Chris Roche*  
 SIGNATURE CHRISTIAN ROCHE 11/12/2021  
 PROFESSIONAL ENGINEER NJ Lic. No. 2450E04988100

**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 989 Lenox Drive, Suite 124  
 Lawrenceville, NJ 08648  
 T: 609.282.8000 F: 609.282.8001 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION No. 24502798490

Project No. **BRIDGE POINT 8 INDUSTRIAL PARK**  
 WEST WINDSOR TOWNSHIP  
 MERCER COUNTY NEW JERSEY  
 Drawing Title

**SITE PLAN I**

Project No.	130172801
Date	12/03/2021
Drawn By	WRB
Checked By	CMR

Drawing No. **CS101**



MATCHLINE: CS101  
 MATCHLINE: CS104

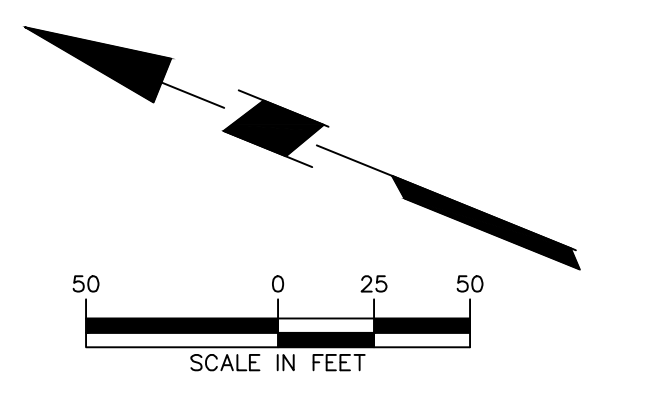
MATCHLINE: CS101  
 MATCHLINE: CS105

**CS105**

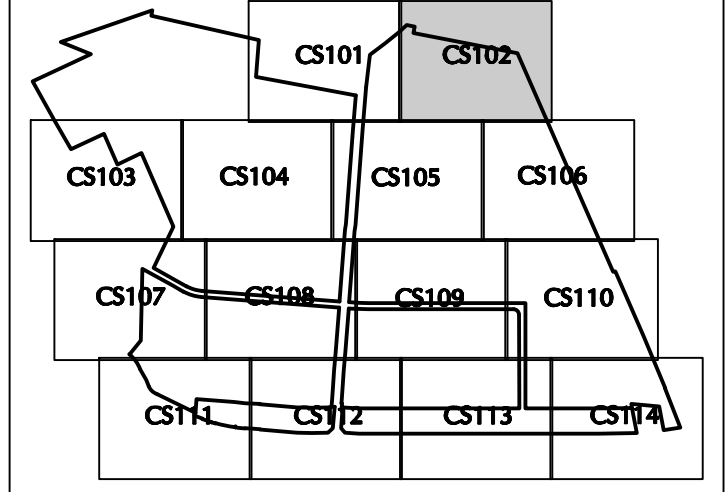
LANGAN PROJECT NO. 130172801



MATCHLINE: CS101  
MATCHLINE: CS102



**SHEET LEGEND**



**SITE PLAN LEGEND**

- BUILDING
- CONCRETE AREA/SIDEWALK
- HEAVY DUTY ASPHALT
- CONCRETE CURB
- SUBDIVISION LINE
- RETAINING WALL
- DOOR
- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- FENCE
- RIGHT-OF-WAY
- DEPRESSED CURB
- ADA RAMP WITH DETECTABLE WARNING SURFACE
- PARKING STALL COUNT
- ADA PARKING STALL
- STRIPING
- SIGN
- BOLLARDS
- DOCK DOOR
- DIRECTIONAL ARROWS
- CURB STOP
- STOP BAR
- INFILTRATION BASIN
- STORMWATER QUALITY BASIN
- STAIRS
- FIRE LANE STRIPING

2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1
Date	Description	No.

**REVISIONS**

*Chris Roche*  
 SIGNATURE CHRISTIAN ROCHE 11/12/2021  
 PROFESSIONAL ENGINEER NJ Lic. No. 245E04988100

**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 989 Lenox Drive, Suite 124  
 Lawrenceville, NJ 08648  
 T: 609.282.8000 F: 609.282.8001 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION No. 245A2798469

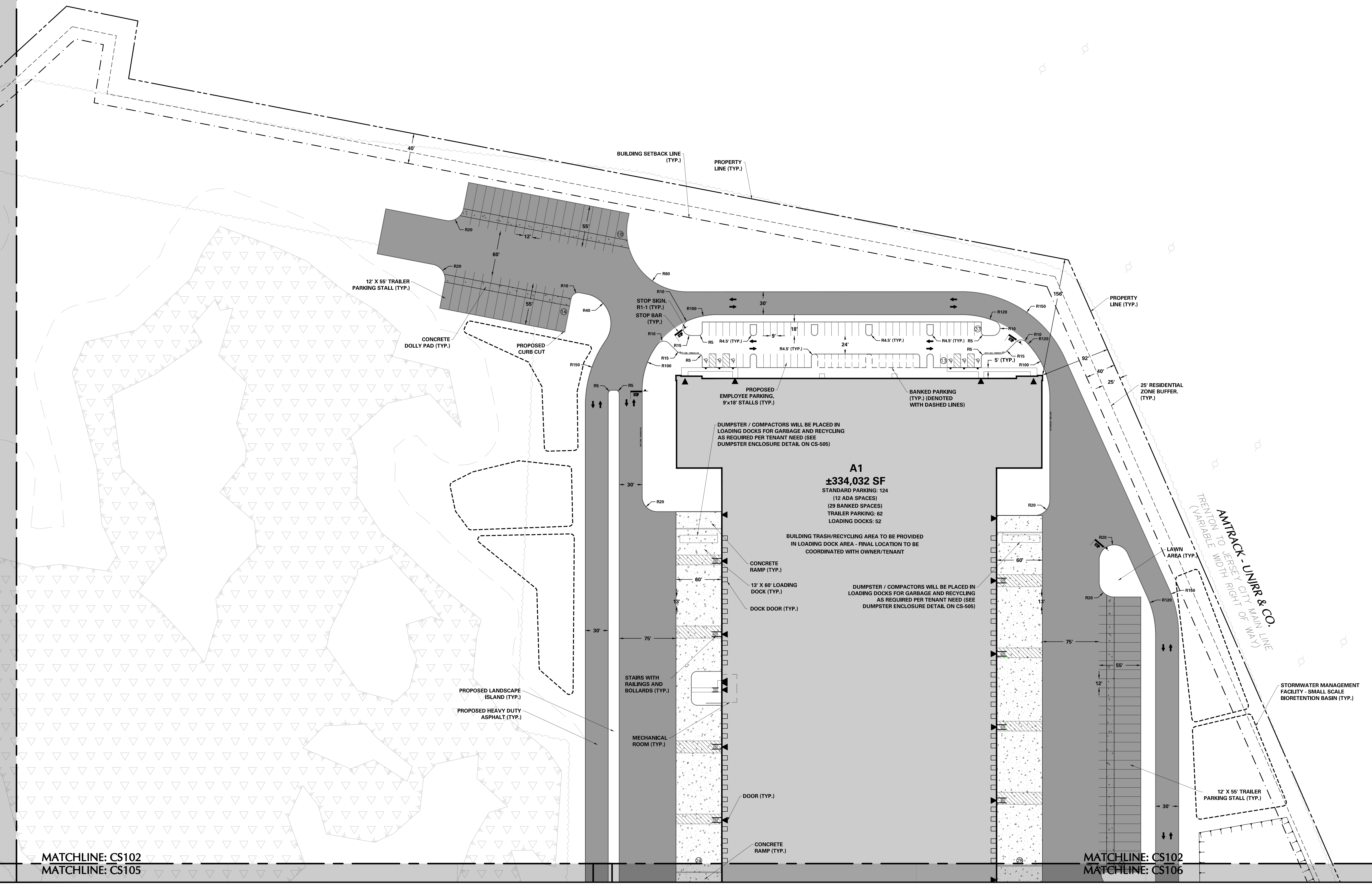
Project  
**BRIDGE POINT 8 INDUSTRIAL PARK**  
 WEST WINDSOR TOWNSHIP  
 MERCER COUNTY NEW JERSEY

**SITE PLAN II**

Project No.	Drawing No.
130172801	<b>CS102</b>
Date	Drawn By
12/03/2021	WRB
Checked By	CMR

MATCHLINE: CS102  
MATCHLINE: CS105

MATCHLINE: CS102  
MATCHLINE: CS106



PROJECT NO. 130172801

STORMWATER MANAGEMENT FACILITY - SMALL SCALE BIORETENTION BASIN (TYP.)

AMTRACK - UNIRR & CO.  
 (VARIABLE WIDTH RIGHT OF WAY)  
 TRENTON TO JERSEY CITY MAIN LINE

**A1**  
**±334,032 SF**  
 STANDARD PARKING: 124  
 (12 ADA SPACES)  
 (29 BANKED SPACES)  
 TRAILER PARKING: 62  
 LOADING DOCKS: 52

DUMPSTER / COMPACTORS WILL BE PLACED IN LOADING DOCKS FOR GARBAGE AND RECYCLING AS REQUIRED PER TENANT NEED (SEE DUMPSTER ENCLOSURE DETAIL ON CS-505)

BUILDING TRASH/RECYCLING AREA TO BE PROVIDED IN LOADING DOCK AREA - FINAL LOCATION TO BE COORDINATED WITH OWNER/TENANT

DUMPSTER / COMPACTORS WILL BE PLACED IN LOADING DOCKS FOR GARBAGE AND RECYCLING AS REQUIRED PER TENANT NEED (SEE DUMPSTER ENCLOSURE DETAIL ON CS-505)

12' X 55' TRAILER PARKING STALL (TYP.)

CONCRETE DOLLY PAD (TYP.)

PROPOSED CURB CUT

PROPOSED LANDSCAPE ISLAND (TYP.)

PROPOSED HEAVY DUTY ASPHALT (TYP.)

STAIRS WITH RAILINGS AND BOLLARDS (TYP.)

MECHANICAL ROOM (TYP.)

DOOR (TYP.)

CONCRETE RAMP (TYP.)

BUILDING SETBACK LINE (TYP.)

PROPERTY LINE (TYP.)

PROPERTY LINE (TYP.)

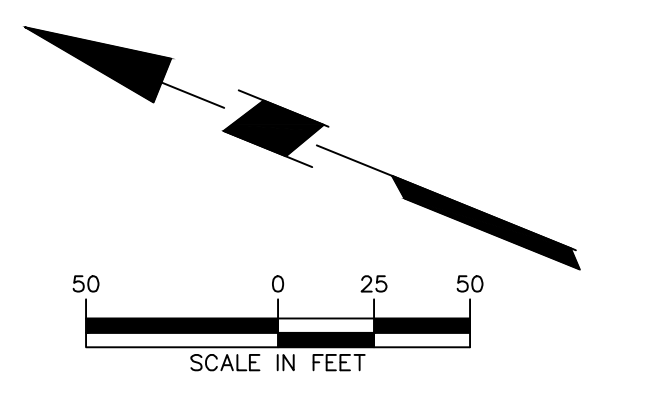
25' RESIDENTIAL ZONE BUFFER (TYP.)

LAWN AREA (TYP.)

12' X 55' TRAILER PARKING STALL (TYP.)

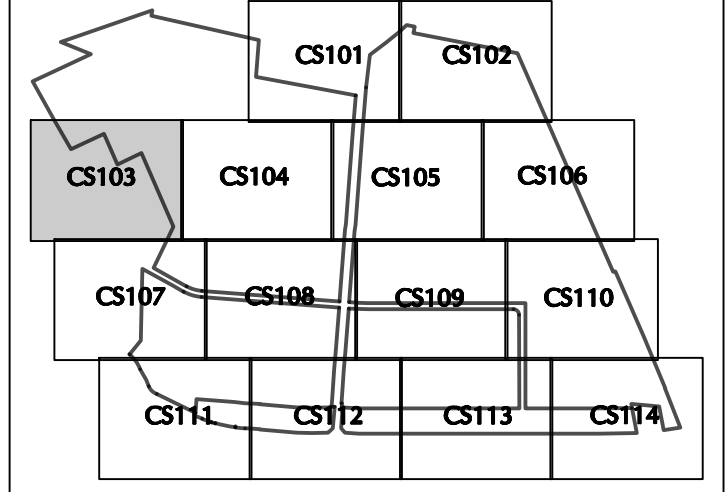
CONCRETE RAMP (TYP.)





MATCHLINE: CS103  
MATCHLINE: CS104

### SHEET LEGEND



### SITE PLAN LEGEND

- BUILDING
- CONCRETE AREA/SIDEWALK
- HEAVY DUTY ASPHALT
- CONCRETE CURB
- SUBDIVISION LINE
- RETAINING WALL
- DOOR
- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- FENCE
- RIGHT-OF-WAY
- DEPRESSED CURB
- ADA RAMP WITH DETECTABLE WARNING SURFACE
- PARKING STALL COUNT
- ADA PARKING STALL
- STRIPING
- SIGN
- BOLLARDS
- DOCK DOOR
- DIRECTIONAL ARROWS
- CURB STOP
- STOP BAR
- INFILTRATION BASIN
- STORMWATER QUALITY BASIN
- STAIRS
- FIRE LANE STRIPING

Date	Description	No.
2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1

#### REVISIONS

*Chris Roche*  
 SIGNATURE CHRISTIAN ROCHE 11/12/2021  
 PROFESSIONAL ENGINEER NJ Lic. No. 245E04988100

**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 989 Lenox Drive, Suite 124  
 Lawrenceville, NJ 08648  
 T: 609.282.8000 F: 609.282.8001 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION No. 245A2796490

Project  
**BRIDGE POINT 8 INDUSTRIAL PARK**  
 WEST WINDSOR TOWNSHIP  
 MERCER COUNTY NEW JERSEY  
 Drawing Title

### SITE PLAN III

Project No.	130172801	Drawing No.	<b>CS103</b>
Date	12/03/2021		
Drawn By	WRB	Checked By	CMR



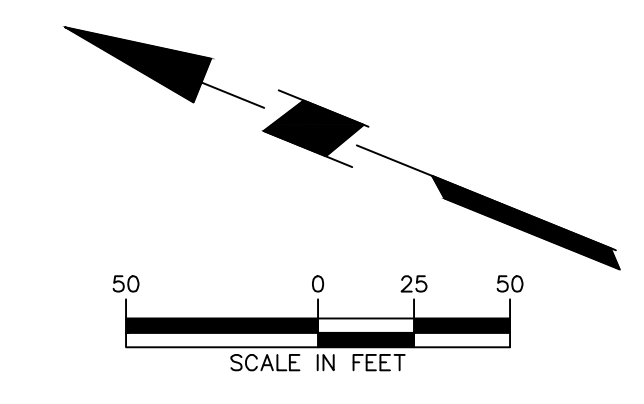
MATCHLINE: CS103  
MATCHLINE: CS107



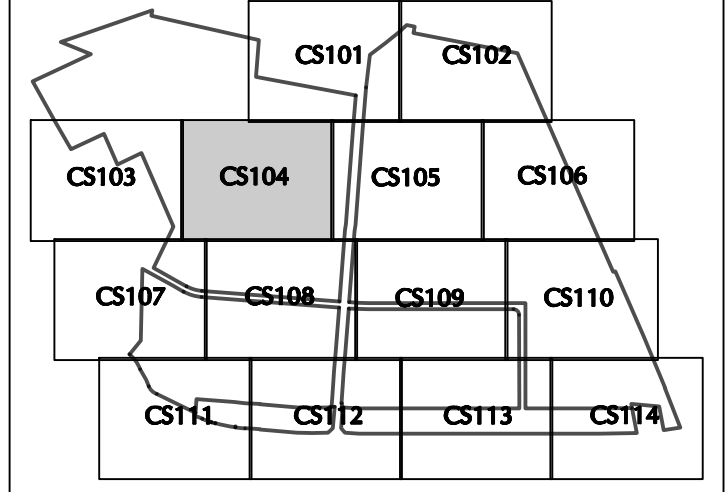
MATCHLINE: CS103  
MATCHLINE: CS104

MATCHLINE: CS101  
MATCHLINE: CS104

MATCHLINE: CS104  
MATCHLINE: CS105

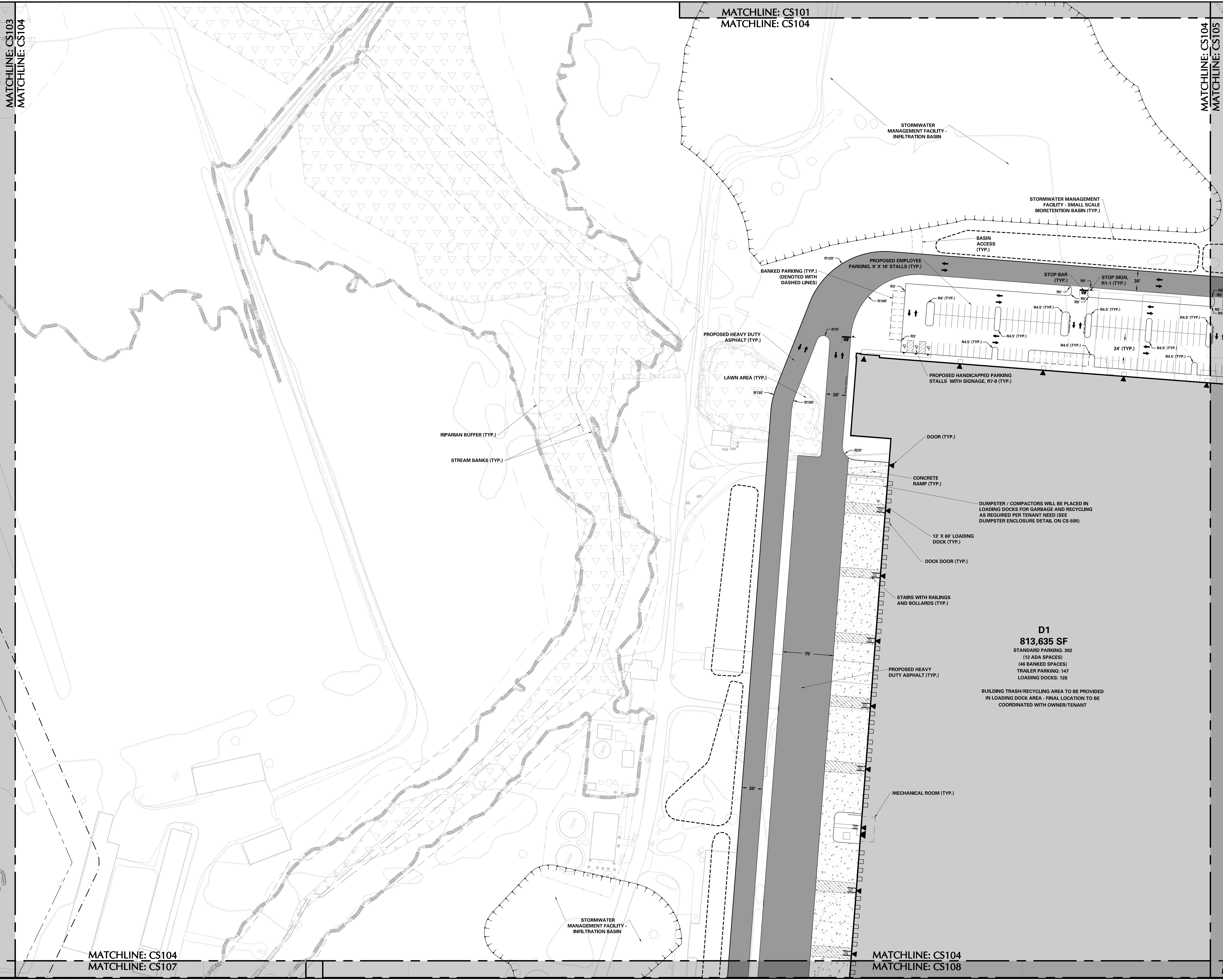


### SHEET LEGEND



### SITE PLAN LEGEND

- BUILDING
- CONCRETE AREA/SIDEWALK
- HEAVY DUTY ASPHALT
- CONCRETE CURB
- SUBDIVISION LINE
- RETAINING WALL
- DOOR
- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- FENCE
- RIGHT-OF-WAY
- DEPRESSED CURB
- ADA RAMP WITH DETECTABLE WARNING SURFACE
- PARKING STALL COUNT
- ADA PARKING STALL
- STRIPING
- SIGN
- BOLLARDS
- DOCK DOOR
- DIRECTIONAL ARROWS
- CURB STOP
- STOP BAR
- INFILTRATION BASIN
- STORMWATER QUALITY BASIN
- STAIRS
- FIRE LANE STRIPING



**D1**  
**813,635 SF**  
 STANDARD PARKING: 302  
 (12 ADA SPACES)  
 (46 BANKED SPACES)  
 TRAILER PARKING: 147  
 LOADING DOCKS: 126

BUILDING TRASH/RECYCLING AREA TO BE PROVIDED  
 IN LOADING DOCK AREA - FINAL LOCATION TO BE  
 COORDINATED WITH OWNER/TENANT

Date	Description	No.
2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1

#### REVISIONS

*Chris Roche*  
 SIGNATURE CHRISTIAN ROCHE 11/12/2021  
 PROFESSIONAL ENGINEER NJ Lic. No. 243E04988100

**LANGAN**  
 Langan Engineering and  
 Environmental Services, Inc.  
 989 Lenox Drive, Suite 124  
 Lawrenceville, NJ 08648

T: 609.282.8000 F: 609.282.8001 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION No. 26A02796460

Project  
**BRIDGE POINT 8 INDUSTRIAL PARK**  
 WEST WINDSOR TOWNSHIP  
 MERCER COUNTY NEW JERSEY

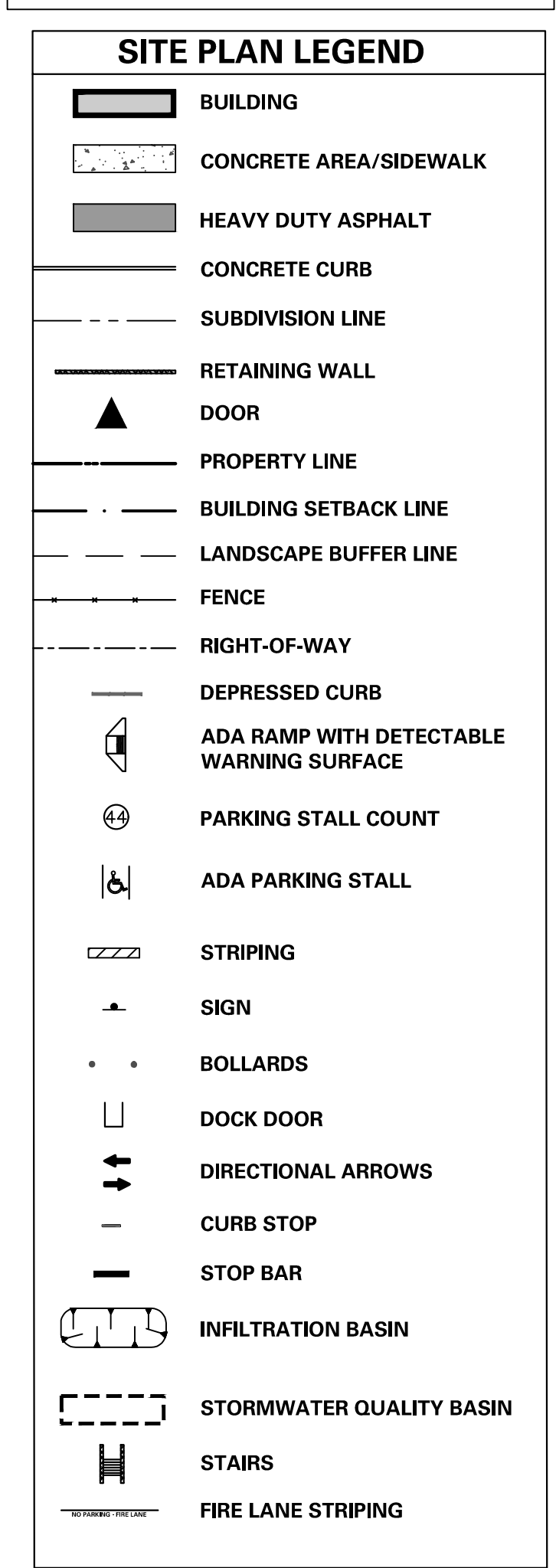
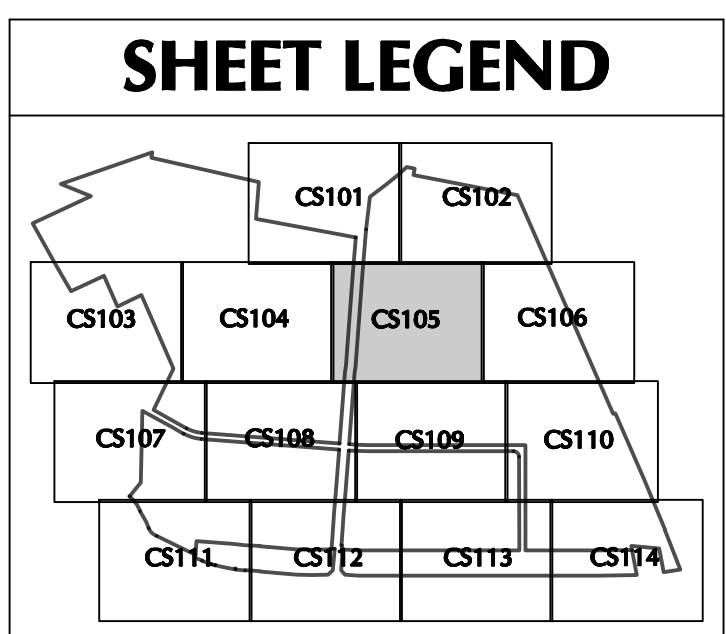
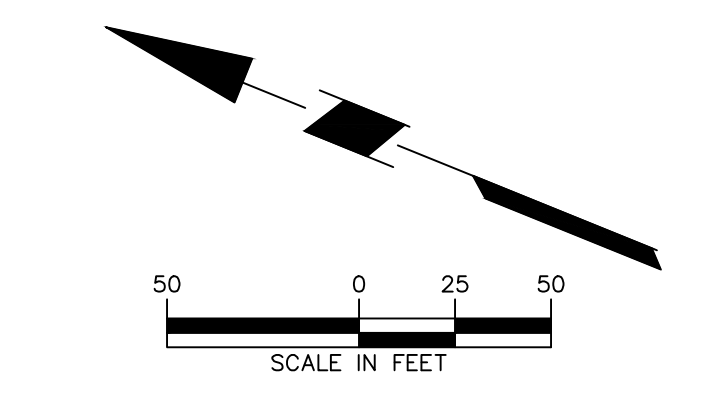
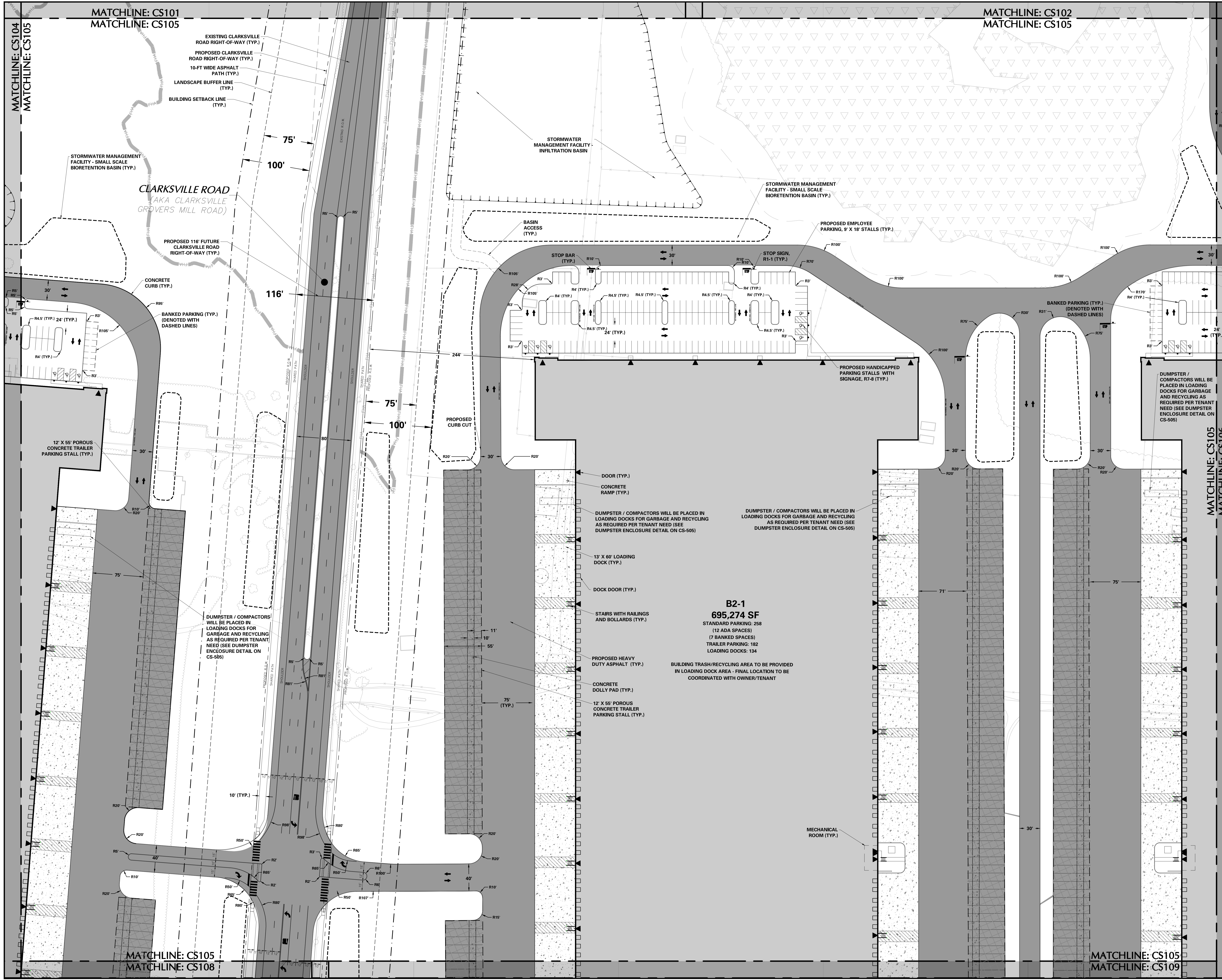
### SITE PLAN IV

Project No. 130172801	Drawing No. <b>CS104</b>
Date 12/03/2021	Drawn By WRB
Checked By CMR	

MATCHLINE: CS104  
MATCHLINE: CS107

MATCHLINE: CS104  
MATCHLINE: CS108





2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1
Date	Description	No.

**REVISIONS**

*Chris Roche*  
 SIGNATURE CHRISTIAN ROCHE 11/12/2021  
 PROFESSIONAL ENGINEER NJ Lic. No. 243E04988100

**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 989 Lenox Drive, Suite 124  
 Lawrenceville, NJ 08648  
 T: 609.282.8000 F: 609.282.8001 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION No. 246A2796460

Project  
**BRIDGE POINT 8 INDUSTRIAL PARK**  
 WEST WINDSOR TOWNSHIP  
 MERCER COUNTY NEW JERSEY  
 Drawing Title

**SITE PLAN V**

Project No.	Drawing No.
130172801	CS105
Date	Drawn By
12/03/2021	WRB
Checked By	CMR

**B2-1**  
**695,274 SF**  
 STANDARD PARKING: 258  
 (12 ADA SPACES)  
 (7 BANKED SPACES)  
 TRAILER PARKING: 182  
 LOADING DOCKS: 134  
 BUILDING TRASH/RECYCLING AREA TO BE PROVIDED IN LOADING DOCK AREA - FINAL LOCATION TO BE COORDINATED WITH OWNER/TENANT

DUMPSTER / COMPACTORS WILL BE PLACED IN LOADING DOCKS FOR GARBAGE AND RECYCLING AS REQUIRED PER TENANT NEED (SEE DUMPSTER ENCLOSURE DETAIL ON CS-505)

DUMPSTER / COMPACTORS WILL BE PLACED IN LOADING DOCKS FOR GARBAGE AND RECYCLING AS REQUIRED PER TENANT NEED (SEE DUMPSTER ENCLOSURE DETAIL ON CS-505)

DUMPSTER / COMPACTORS WILL BE PLACED IN LOADING DOCKS FOR GARBAGE AND RECYCLING AS REQUIRED PER TENANT NEED (SEE DUMPSTER ENCLOSURE DETAIL ON CS-505)

DUMPSTER / COMPACTORS WILL BE PLACED IN LOADING DOCKS FOR GARBAGE AND RECYCLING AS REQUIRED PER TENANT NEED (SEE DUMPSTER ENCLOSURE DETAIL ON CS-505)

DUMPSTER / COMPACTORS WILL BE PLACED IN LOADING DOCKS FOR GARBAGE AND RECYCLING AS REQUIRED PER TENANT NEED (SEE DUMPSTER ENCLOSURE DETAIL ON CS-505)

DUMPSTER / COMPACTORS WILL BE PLACED IN LOADING DOCKS FOR GARBAGE AND RECYCLING AS REQUIRED PER TENANT NEED (SEE DUMPSTER ENCLOSURE DETAIL ON CS-505)

DOOR (TYP.)  
 CONCRETE RAMP (TYP.)

13' X 60' LOADING DOCK (TYP.)  
 DOCK DOOR (TYP.)

STAIRS WITH RAILINGS AND BOLLARDS (TYP.)

PROPOSED HEAVY DUTY ASPHALT (TYP.)

CONCRETE DOLLY PAD (TYP.)

12' X 55' POROUS CONCRETE TRAILER PARKING STALL (TYP.)

MECHANICAL ROOM (TYP.)

MATCHLINE: CS101  
 MATCHLINE: CS105

MATCHLINE: CS102  
 MATCHLINE: CS105

MATCHLINE: CS104  
 MATCHLINE: CS105

MATCHLINE: CS105  
 MATCHLINE: CS106

MATCHLINE: CS105  
 MATCHLINE: CS108

MATCHLINE: CS105  
 MATCHLINE: CS109

PROJECT NO. 130172801



MATCHLINE: CS102  
MATCHLINE: CS106

**A1**  
±334,032 SF  
STANDARD PARKING: 124  
(12 ADA SPACES)  
(29 BANKED SPACES)  
TRAILER PARKING: 62  
LOADING DOCKS: 52

BUILDING TRASH/RECYCLING AREA TO BE PROVIDED  
IN LOADING DOCK AREA - FINAL LOCATION TO BE  
COORDINATED WITH OWNER/TENANT

PROPOSED EMPLOYEE  
PARKING, 9' X 18' STALLS (TYP.)

PROPOSED HANDICAPPED  
PARKING STALLS WITH  
SIGNAGE, R7-8 (TYP.)

PROPOSED GRASS  
PAVE FOR FIRE ACCESS

**B2-2**  
710,077 SF  
STANDARD PARKING: 263  
(12 ADA SPACES)  
(51 BANKED SPACES)  
TRAILER PARKING: 173  
LOADING DOCKS: 137

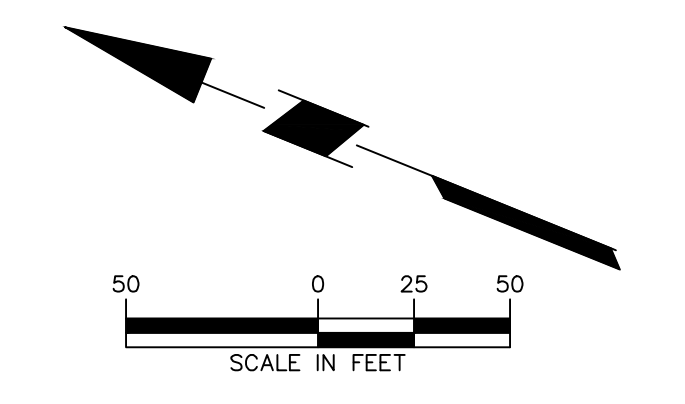
BUILDING TRASH/RECYCLING AREA TO BE PROVIDED  
IN LOADING DOCK AREA - FINAL LOCATION TO BE  
COORDINATED WITH OWNER/TENANT

12' X 55' POROUS  
CONCRETE TRAILER  
PARKING STALL (TYP.)

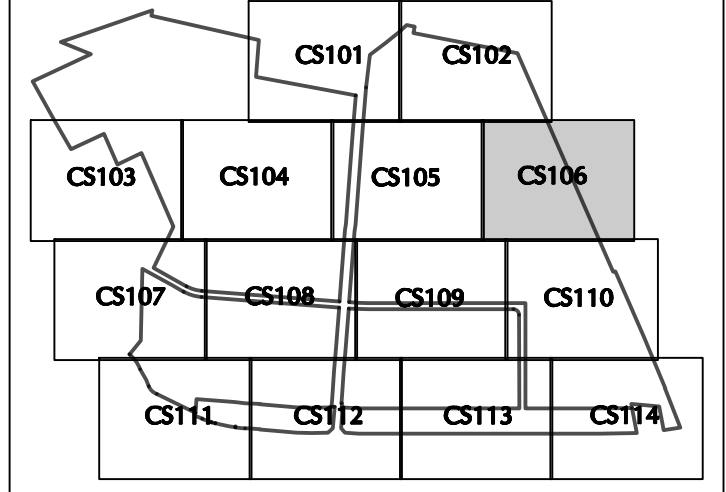
12' X 55' POROUS  
CONCRETE TRAILER  
PARKING STALL (TYP.)

STORMWATER  
MANAGEMENT FACILITY -  
CONSTRUCTED WETLAND

AMTRACK - UNIRR & CO.  
TRENTON TO JERSEY CITY MAIN LINE  
(VARIABLE WIDTH RIGHT OF WAY)



**SHEET LEGEND**



**SITE PLAN LEGEND**

- BUILDING
- CONCRETE AREA/SIDEWALK
- HEAVY DUTY ASPHALT
- CONCRETE CURB
- SUBDIVISION LINE
- RETAINING WALL
- DOOR
- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- FENCE
- RIGHT-OF-WAY
- DEPRESSED CURB
- ADA RAMP WITH DETECTABLE WARNING SURFACE
- PARKING STALL COUNT
- ADA PARKING STALL
- STRIPING
- SIGN
- BOLLARDS
- DOCK DOOR
- DIRECTIONAL ARROWS
- CURB STOP
- STOP BAR
- INFILTRATION BASIN
- STORMWATER QUALITY BASIN
- STAIRS
- FIRE LANE STRIPING

Date	Description	No.
2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1

REVISIONS

*Chris Roche*  
SIGNATURE CHRISTIAN ROCHE 11/12/2021  
PROFESSIONAL ENGINEER NJ Lic. No. 243E04988100

**LANGAN**  
Langan Engineering and  
Environmental Services, Inc.  
989 Lenox Drive, Suite 124  
Lawrenceville, NJ 08648  
T: 609.282.8000 F: 609.282.8001 www.langan.com  
NJ CERTIFICATE OF AUTHORIZATION No. 246A2796460

Project  
**BRIDGE POINT 8  
INDUSTRIAL PARK**  
WEST WINDSOR TOWNSHIP  
MERCER COUNTY NEW JERSEY

**SITE PLAN VI**

Project No. 130172801	Drawing No. <b>CS106</b>
Date 12/03/2021	Drawn By WRB
Checked By CMR	

MATCHLINE: CS105  
MATCHLINE: CS106

MATCHLINE: CS106  
MATCHLINE: CS109

MATCHLINE: CS106  
MATCHLINE: CS110

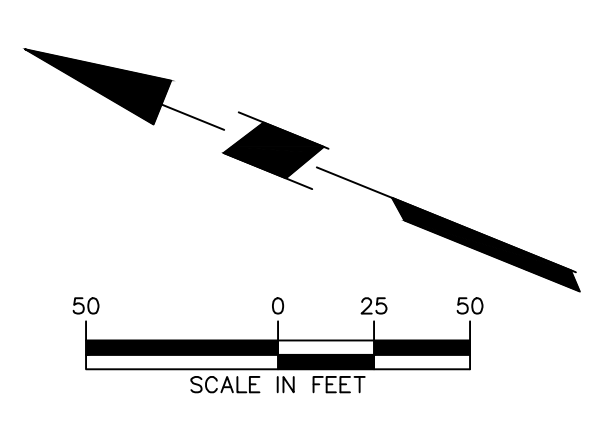
PROJECT NO. 130172801



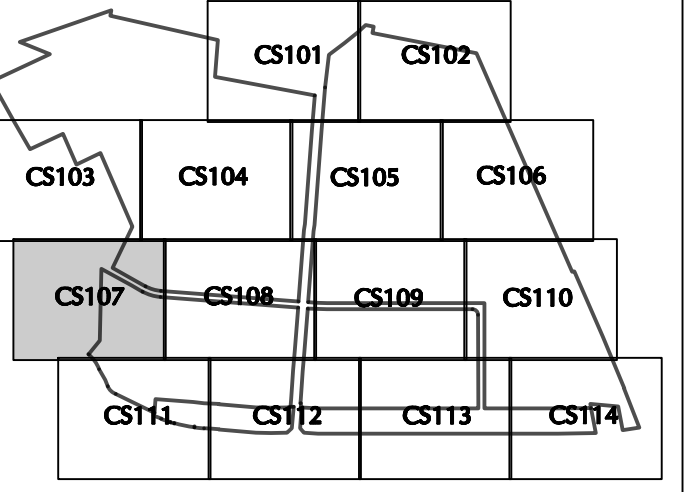
MATCHLINE: CS103  
MATCHLINE: CS107

MATCHLINE: CS104  
MATCHLINE: CS107

MATCHLINE: CS107  
MATCHLINE: CS108



**SHEET LEGEND**



**SITE PLAN LEGEND**

- BUILDING
- CONCRETE AREA/SIDEWALK
- HEAVY DUTY ASPHALT
- CONCRETE CURB
- SUBDIVISION LINE
- RETAINING WALL
- DOOR
- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- FENCE
- RIGHT-OF-WAY
- DEPRESSED CURB
- ADA RAMP WITH DETECTABLE WARNING SURFACE
- PARKING STALL COUNT
- ADA PARKING STALL
- STRIPING
- SIGN
- BOLLARDS
- DOCK DOOR
- DIRECTIONAL ARROWS
- CURB STOP
- STOP BAR
- INFILTRATION BASIN
- STORMWATER QUALITY BASIN
- STAIRS
- FIRE LANE STRIPING

2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1
Date	Description	No.

**REVISIONS**

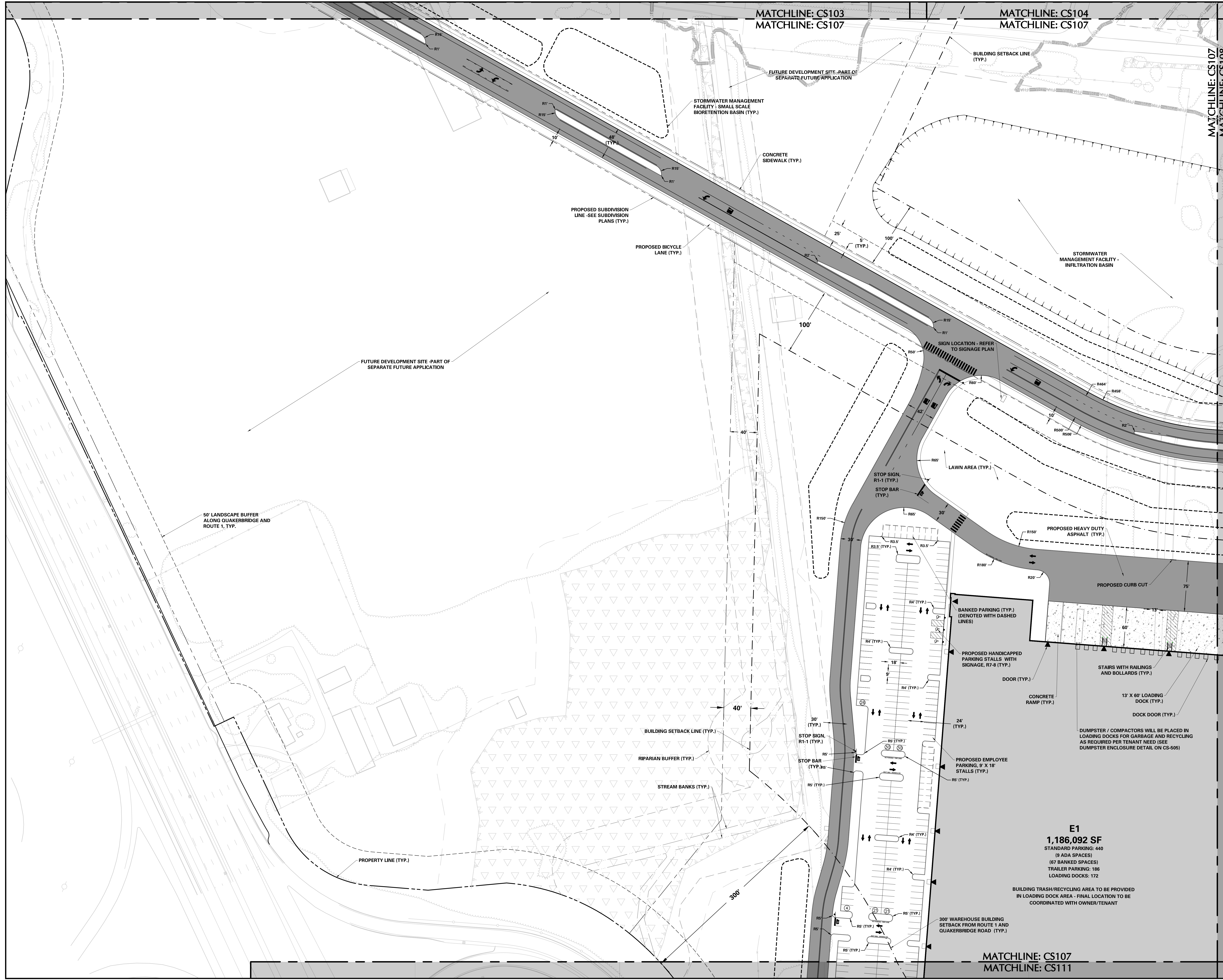
*Chris Roche*  
 SIGNATURE CHRISTIAN ROCHE 11/12/2021  
 PROFESSIONAL ENGINEER NJ Lic. No. 245E04988100

**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 989 Lenox Drive, Suite 124  
 Lawrenceville, NJ 08648  
 T: 609.282.8000 F: 609.282.8001 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION No. 246A0796469

Project **BRIDGE POINT 8 INDUSTRIAL PARK**  
 WEST WINDSOR TOWNSHIP  
 MERCER COUNTY NEW JERSEY  
 Drawing Title

**SITE PLAN VII**

Project No.	130172801	Drawing No.	<b>CS107</b>
Date	12/03/2021	Drawn By	
Checked By	CMR		

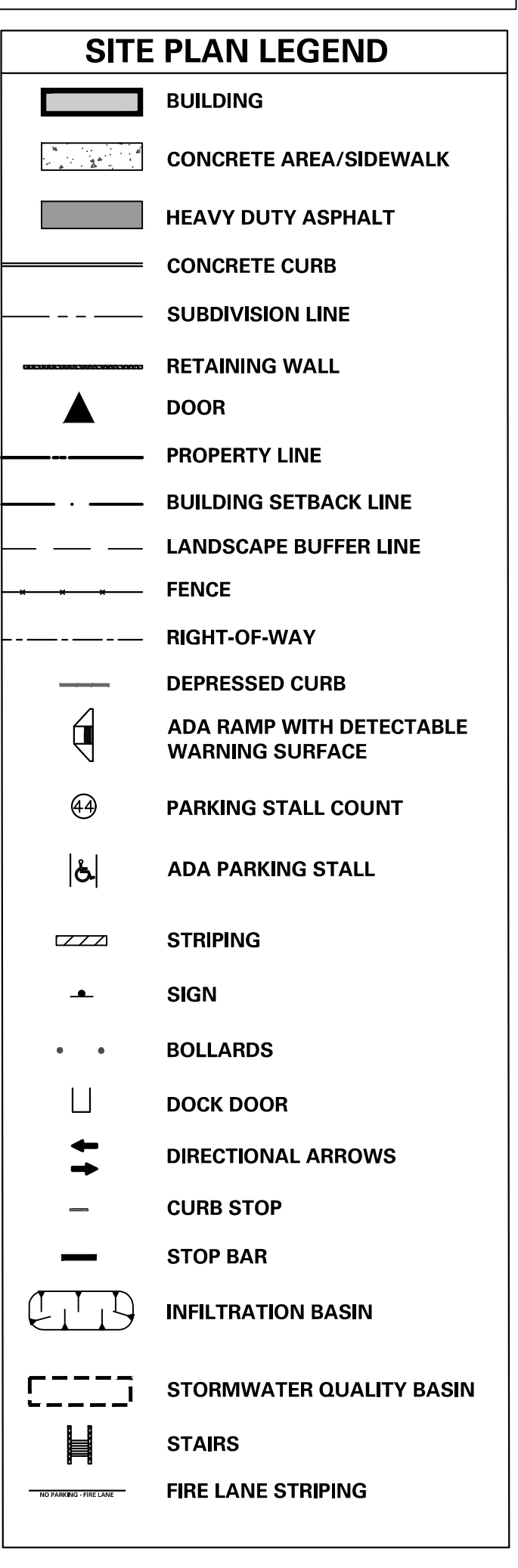
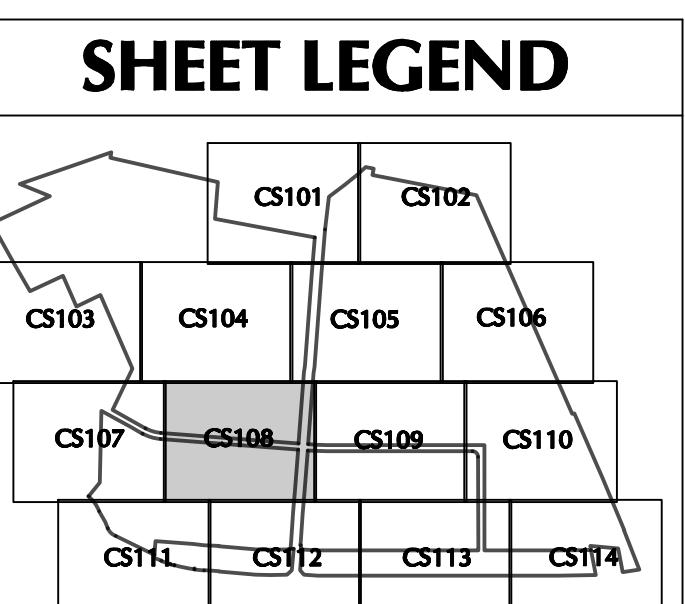
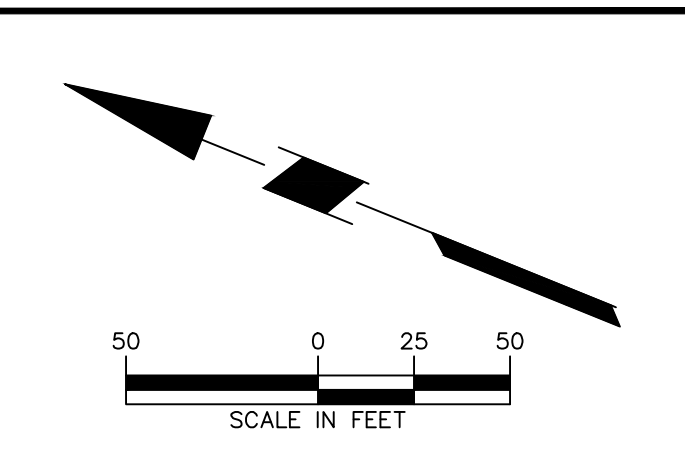
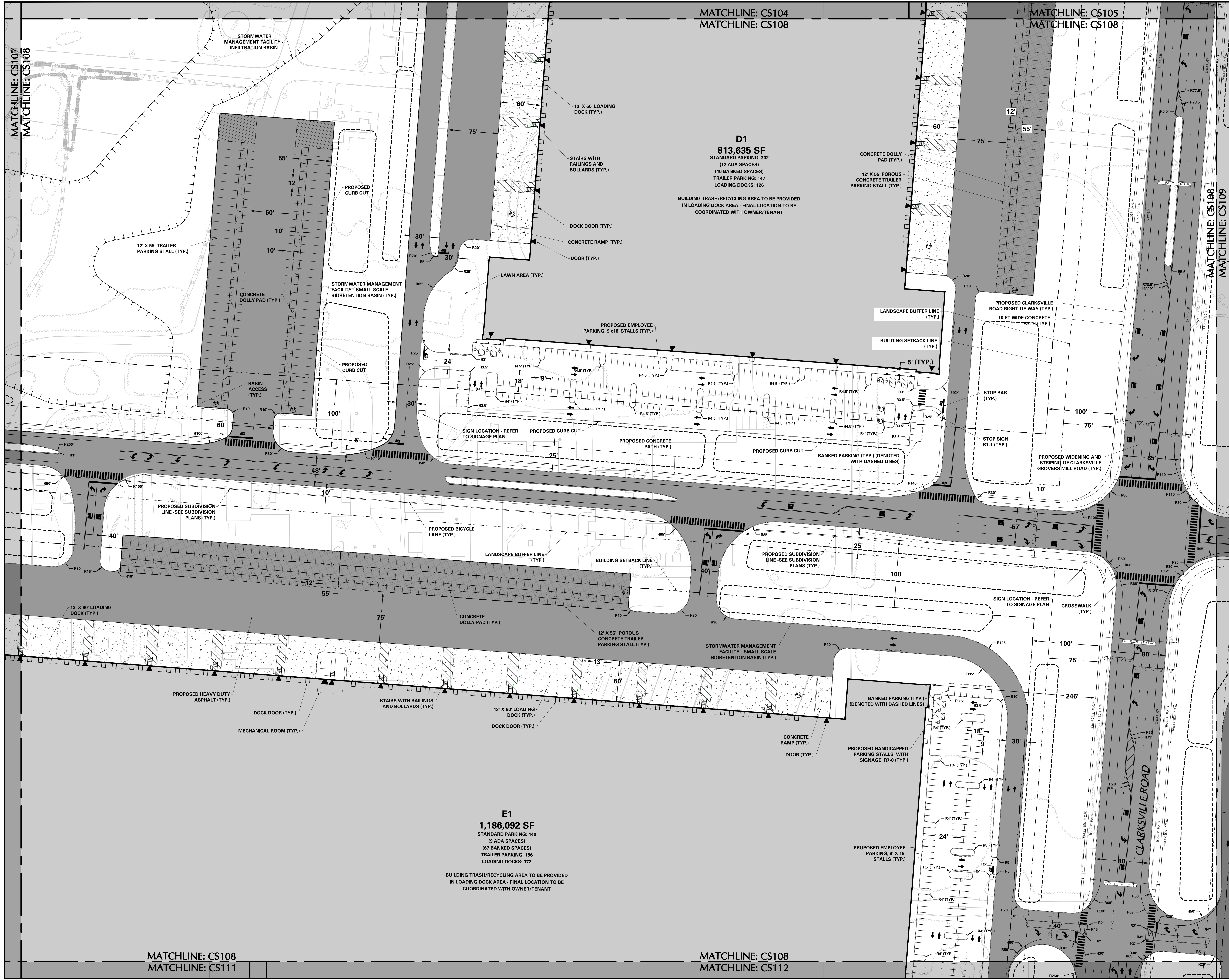


**E1**  
**1,186,092 SF**  
 STANDARD PARKING: 440  
 (9 ADA SPACES)  
 (67 BANKED SPACES)  
 TRAILER PARKING: 186  
 LOADING DOCKS: 172  
 BUILDING TRASH/RECYCLING AREA TO BE PROVIDED IN LOADING DOCK AREA - FINAL LOCATION TO BE COORDINATED WITH OWNER/TENANT

300' WAREHOUSE BUILDING SETBACK FROM ROUTE 1 AND QUAKERBRIDGE ROAD (TYP.)

MATCHLINE: CS107  
MATCHLINE: CS111





Date	Description	No.
2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions	1

**REVISIONS**

*Chris Roche*  
 SIGNATURE CHRISTIAN ROCHE 11/12/2021  
 PROFESSIONAL ENGINEER NJ Lic. No. 240E04988100

**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 989 Lenox Drive, Suite 124  
 Lawrenceville, NJ 08648

T: 609.282.8000 F: 609.282.8001 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION No. 246A2796460

Project No. **BRIDGE POINT 8 INDUSTRIAL PARK**  
 WEST WINDSOR TOWNSHIP  
 MERCER COUNTY NEW JERSEY  
 Drawing Title

**SITE PLAN VIII**

Project No. 130172801  
 Date 12/03/2021  
 Drawn By WRB  
 Checked By CMR

Drawing No. **CS108**

MATCHLINE: CS107  
 MATCHLINE: CS108

MATCHLINE: CS104  
 MATCHLINE: CS108

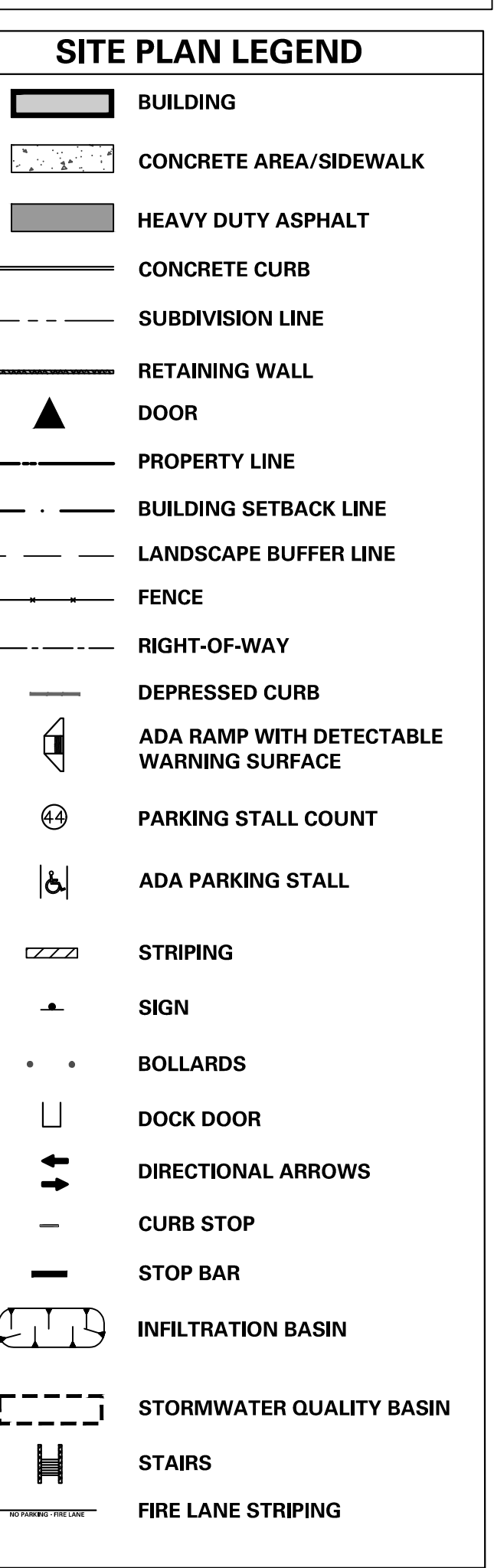
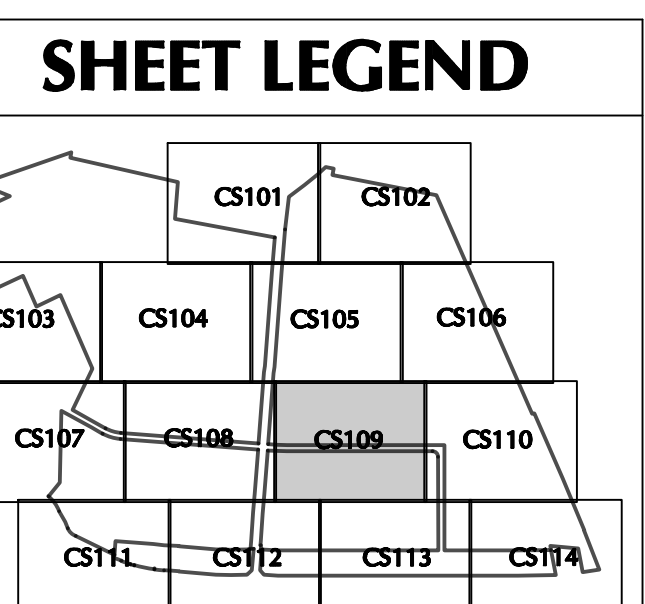
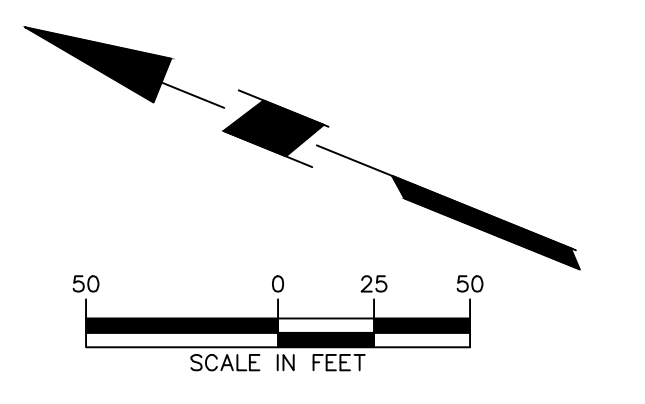
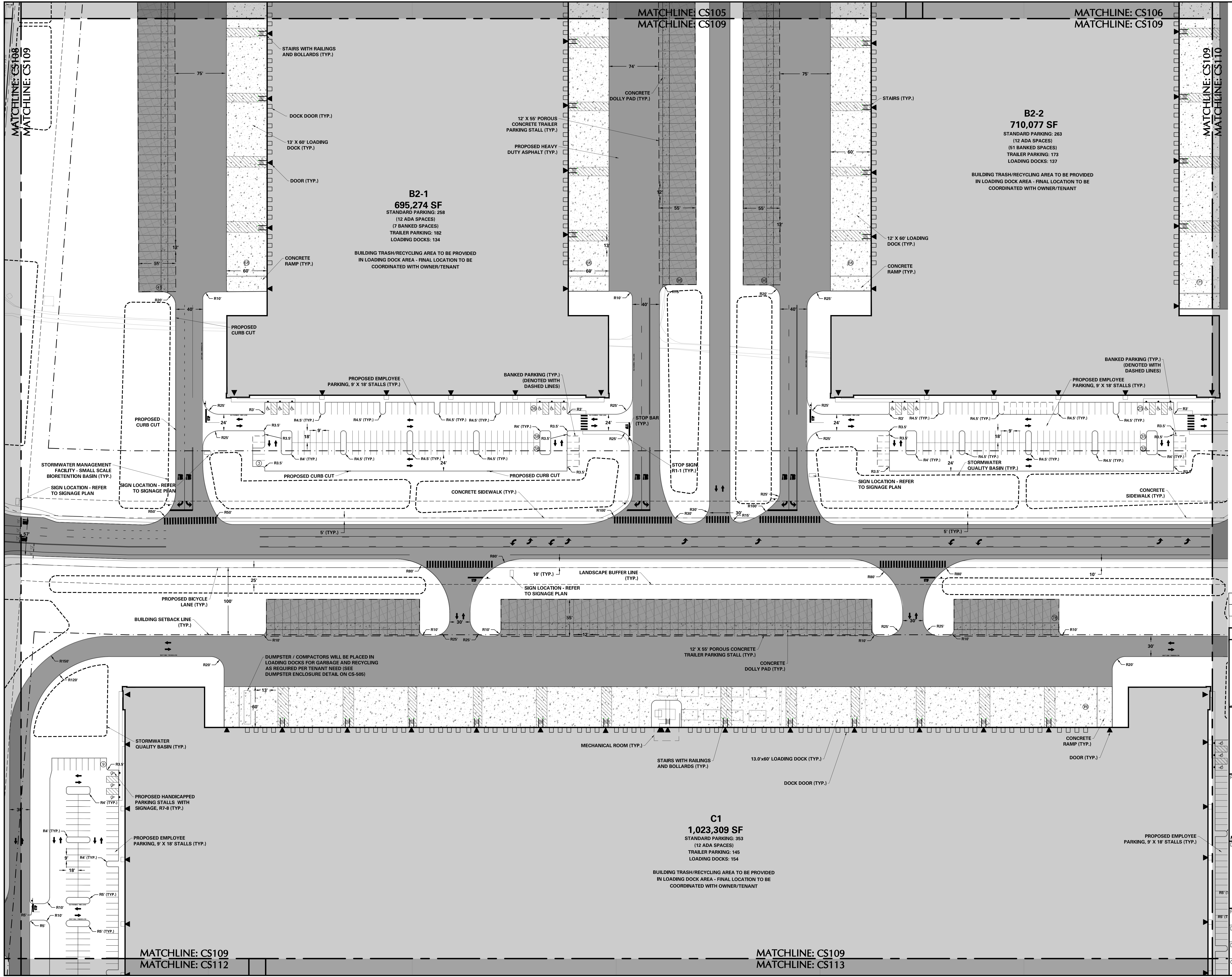
MATCHLINE: CS105  
 MATCHLINE: CS108

MATCHLINE: CS108  
 MATCHLINE: CS109

MATCHLINE: CS108  
 MATCHLINE: CS111

MATCHLINE: CS108  
 MATCHLINE: CS112





Date	Description	No.
2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions	1

REVISIONS

*Chris Roche*  
SIGNATURE CHRISTIAN ROCHE 11/12/2021  
PROFESSIONAL ENGINEER NJ Lic. No. 245E04988100

**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
989 Lenox Drive, Suite 124  
Lawrenceville, NJ 08648

T: 609.282.8000 F: 609.282.8001 www.langan.com  
NJ CERTIFICATE OF AUTHORIZATION No. 245A27986409

Project No. **130172801**  
Date **12/03/2021**  
Drawn By **WRB**  
Checked By **CMR**

**BRIDGE POINT 8 INDUSTRIAL PARK**  
WEST WINDSOR TOWNSHIP  
MERCER COUNTY NEW JERSEY

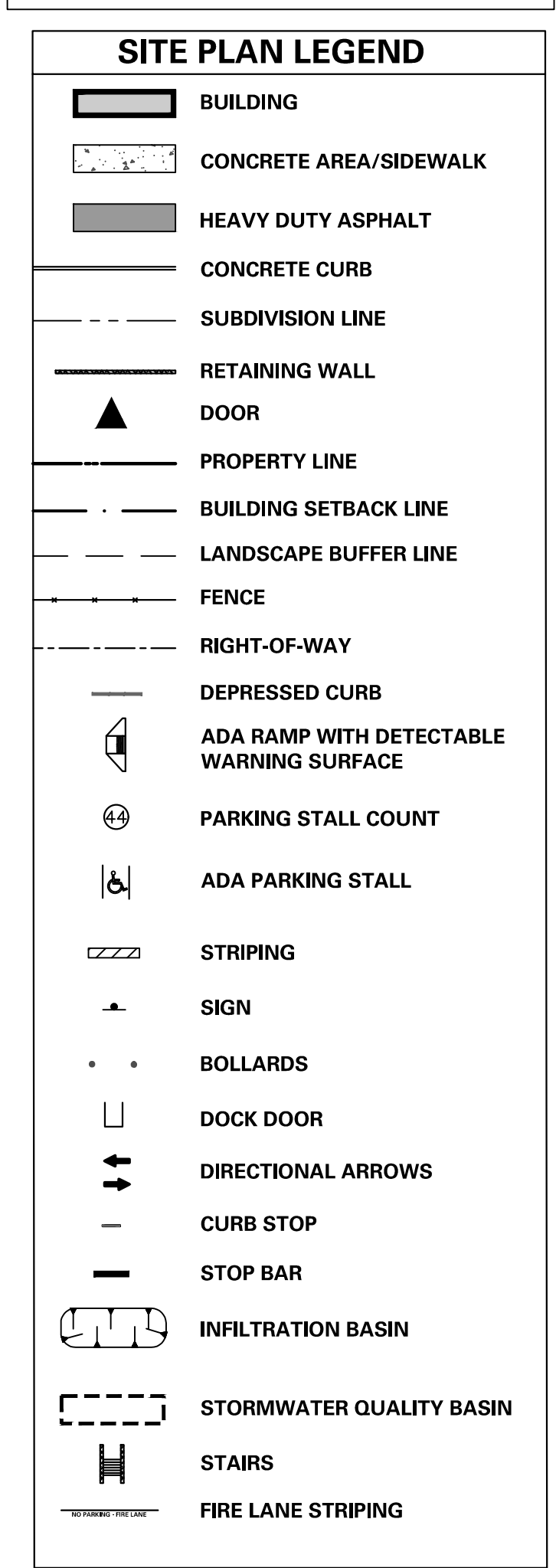
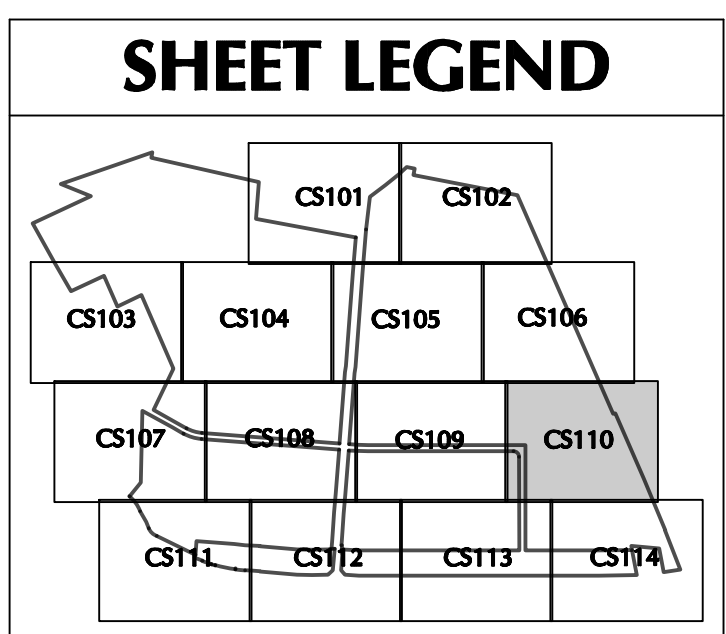
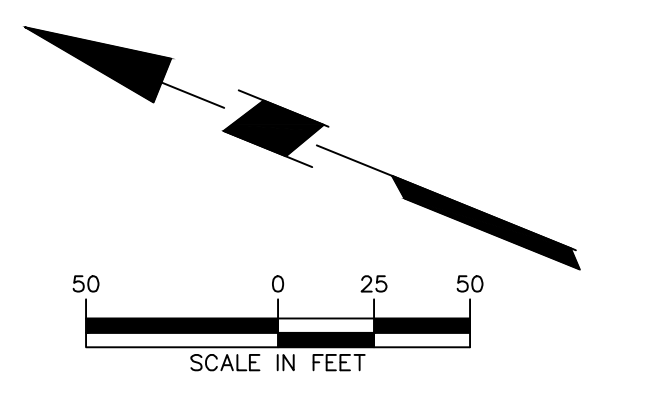
Drawing Title **SITE PLAN IX**

Project No. **130172801**  
Date **12/03/2021**  
Drawn By **WRB**  
Checked By **CMR**

PROJECT NO. 130172801

LANGAN





2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1
Date	Description	No.

REVISIONS

*Chris Roche*  
 SIGNATURE CHRISTIAN ROCHE 11/12/2021  
 PROFESSIONAL ENGINEER NJ Lic. No. 243E04988100

**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 989 Lenox Drive, Suite 124  
 Lawrenceville, NJ 08648

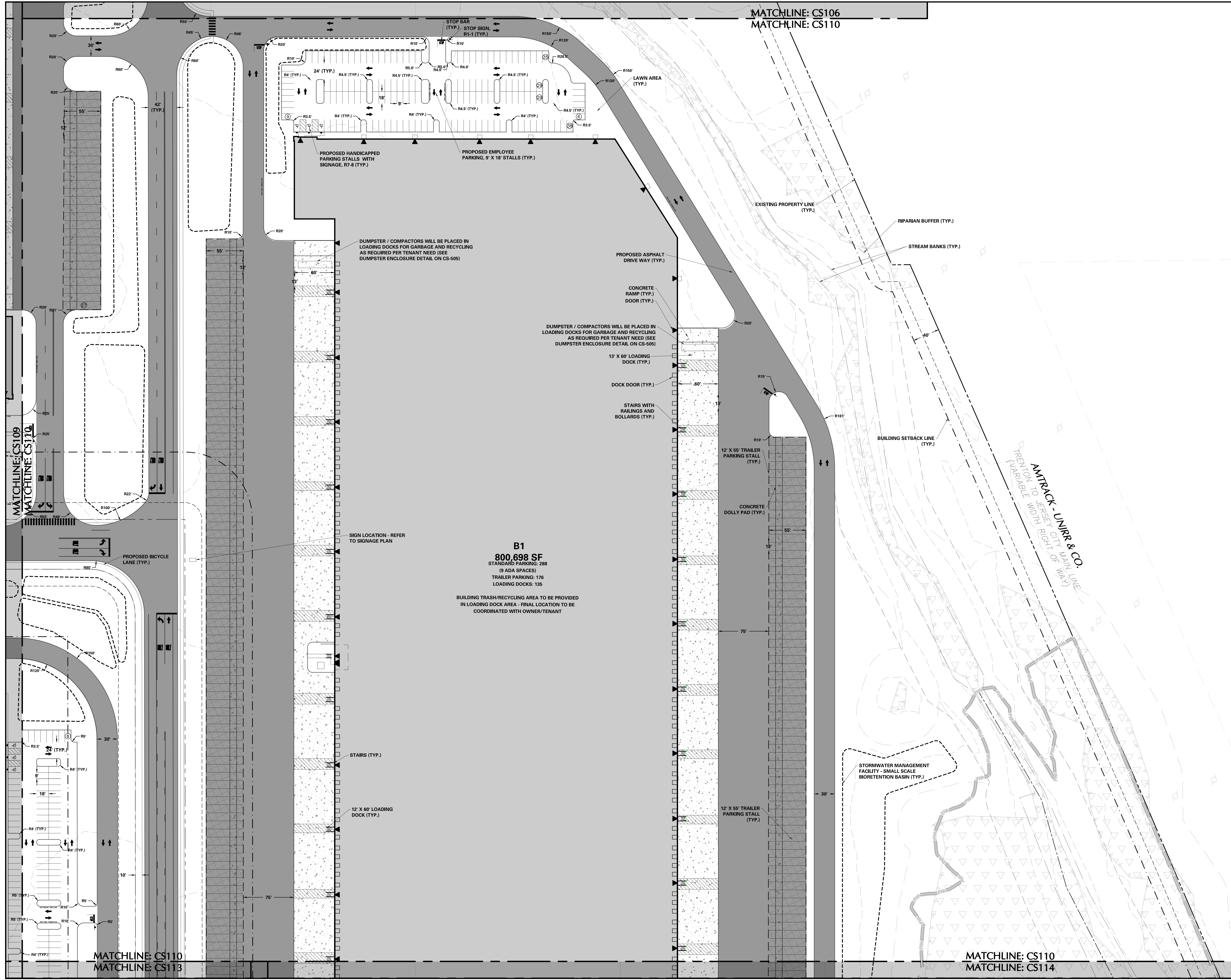
T: 609.282.8000 F: 609.282.8001 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION No. 243E04988100

Project  
**BRIDGE POINT 8 INDUSTRIAL PARK**  
 WEST WINDSOR TOWNSHIP  
 MERCER COUNTY NEW JERSEY  
 Drawing Title

**SITE PLAN X**

Project No. 130172801  
 Date 12/03/2021  
 Drawn By WRB  
 Checked By CMR

Drawing No. **CS110**







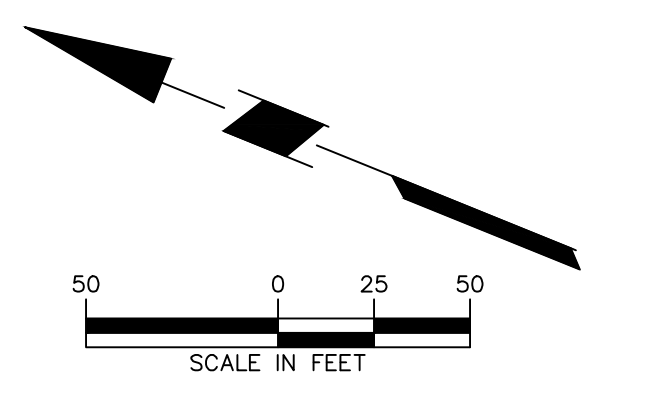
MATCHLINE: CS107  
MATCHLINE: CS111

MATCHLINE: CS108  
MATCHLINE: CS111

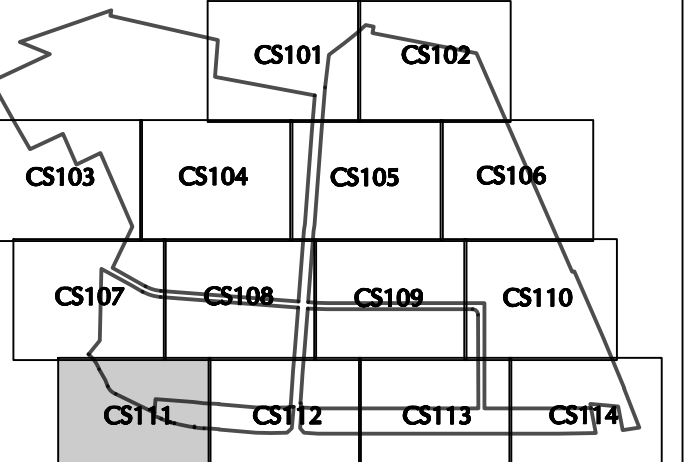
MATCHLINE: CS111  
MATCHLINE: CS112

**E1**  
**1,186,092 SF**  
STANDARD PARKING: 440  
(19 ADA SPACES)  
(67 BANKED SPACES)  
TRAILER PARKING: 186  
LOADING DOCKS: 172

BUILDING TRASH/RECYCLING AREA TO BE PROVIDED  
IN LOADING DOCK AREA - FINAL LOCATION TO BE  
COORDINATED WITH OWNER/TENANT



**SHEET LEGEND**



**SITE PLAN LEGEND**

- BUILDING
- CONCRETE AREA/SIDEWALK
- HEAVY DUTY ASPHALT
- CONCRETE CURB
- SUBDIVISION LINE
- RETAINING WALL
- DOOR
- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- FENCE
- RIGHT-OF-WAY
- DEPRESSED CURB
- ADA RAMP WITH DETECTABLE WARNING SURFACE
- PARKING STALL COUNT
- ADA PARKING STALL
- STRIPING
- SIGN
- BOLLARDS
- DOCK DOOR
- DIRECTIONAL ARROWS
- CURB STOP
- STOP BAR
- INFILTRATION BASIN
- STORMWATER QUALITY BASIN
- STAIRS
- FIRE LANE STRIPING

Date	Description	No.
2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1

REVISIONS

*Chris Roche*  
SIGNATURE CHRISTIAN ROCHE 11/12/2021  
PROFESSIONAL ENGINEER NJ Lic. No. 243E04988100

**LANGAN**  
Langan Engineering and  
Environmental Services, Inc.  
989 Lenox Drive, Suite 124  
Lawrenceville, NJ 08648  
T: 609.282.8000 F: 609.282.8001 www.Langan.com  
NJ CERTIFICATE OF AUTHORIZATION No. 246A2798469

Project  
**BRIDGE POINT 8  
INDUSTRIAL PARK**  
WEST WINDSOR TOWNSHIP  
MERCER COUNTY NEW JERSEY

Drawing Title  
**SITE PLAN XI**

Project No. 130172801	Drawing No. <b>CS111</b>
Date 12/03/2021	
Drawn By WRB	
Checked By CMR	

APPROXIMATE MUNICIPAL  
BOUNDARY LINE

QUAKERBRIDGE ROAD  
(AKA PROVINCE LINE ROAD)



MATCHLINE: CS108  
MATCHLINE: CS112

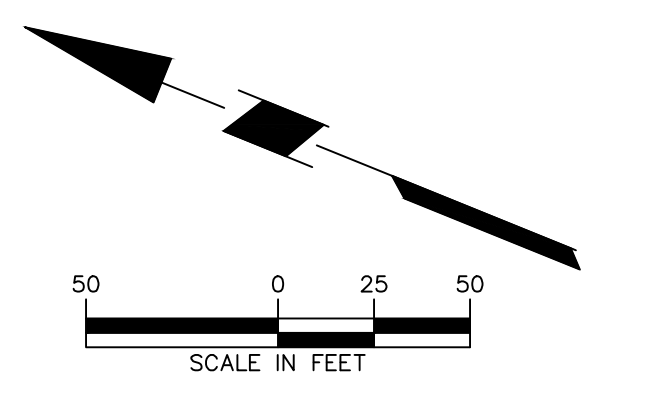
MATCHLINE: CS109  
MATCHLINE: CS112

MATCHLINE: CS111  
MATCHLINE: CS112

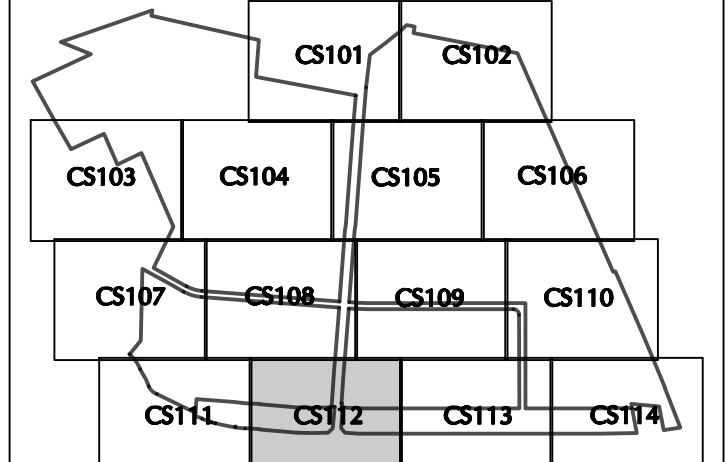
MATCHLINE: CS112  
MATCHLINE: CS113

**E1**  
**1,186,092 SF**  
STANDARD PARKING: 440  
(9 ADA SPACES)  
(67 BANKED SPACES)  
TRAILER PARKING: 186  
LOADING DOCKS: 172

**C1**  
**1,023,309 SF**  
STANDARD PARKING: 353  
(12 ADA SPACES)  
TRAILER PARKING: 145  
LOADING DOCKS: 154

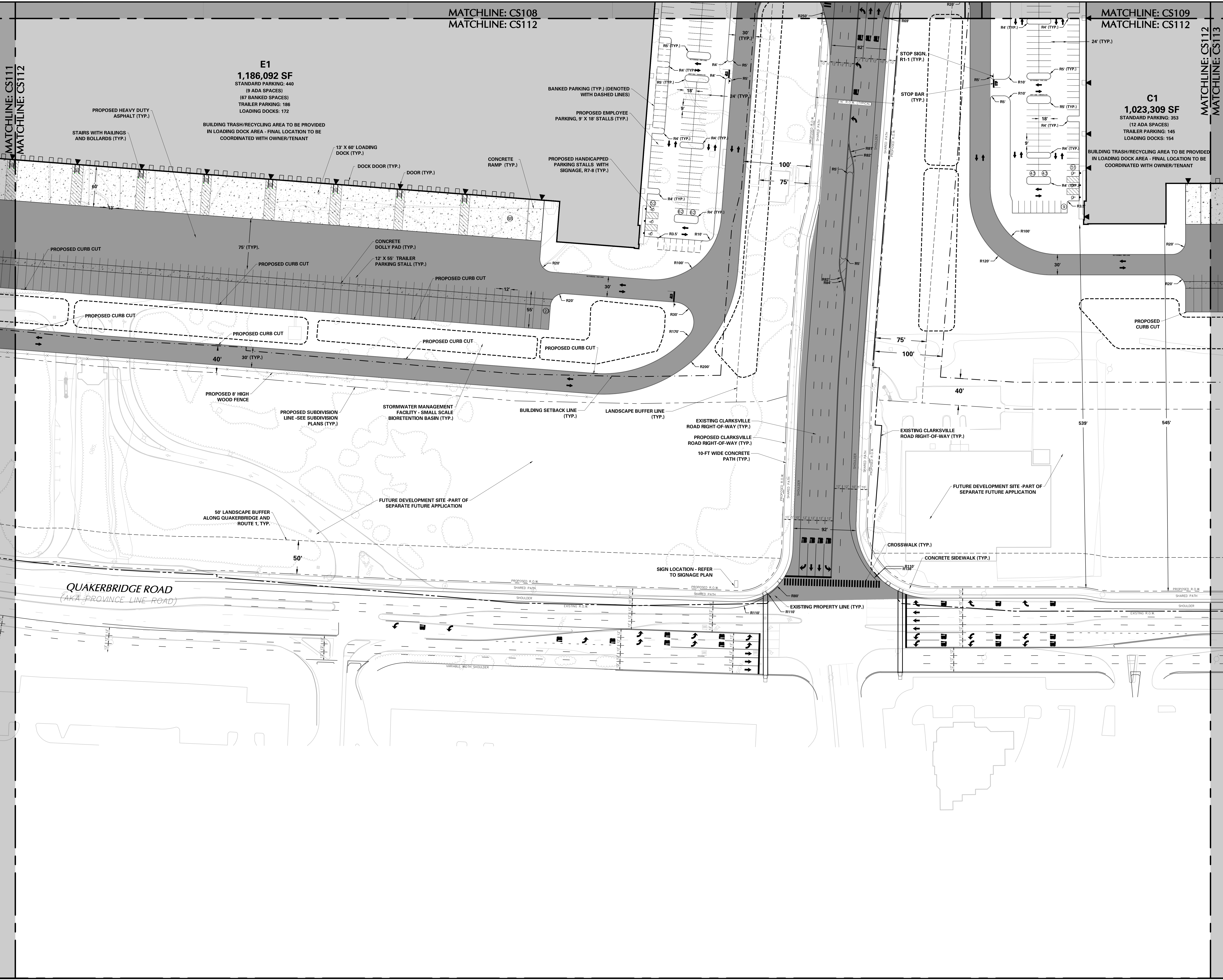


**SHEET LEGEND**



**SITE PLAN LEGEND**

- BUILDING
- CONCRETE AREA/SIDEWALK
- HEAVY DUTY ASPHALT
- CONCRETE CURB
- SUBDIVISION LINE
- RETAINING WALL
- DOOR
- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- FENCE
- RIGHT-OF-WAY
- DEPRESSED CURB
- ADA RAMP WITH DETECTABLE WARNING SURFACE
- PARKING STALL COUNT
- ADA PARKING STALL
- STRIPING
- SIGN
- BOLLARDS
- DOCK DOOR
- DIRECTIONAL ARROWS
- CURB STOP
- STOP BAR
- INFILTRATION BASIN
- STORMWATER QUALITY BASIN
- STAIRS
- FIRE LANE STRIPING



2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1
Date	Description	No.

REVISIONS

*Chris Roche*  
SIGNATURE CHRISTIAN ROCHE 11/12/2021  
PROFESSIONAL ENGINEER NJ Lic. No. 240E04988100

**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
989 Lenox Drive, Suite 124  
Lawrenceville, NJ 08648  
T: 609.282.8000 F: 609.282.8001 www.langan.com  
NJ CERTIFICATE OF AUTHORIZATION No. 246A27986409

Project  
**BRIDGE POINT 8 INDUSTRIAL PARK**  
WEST WINDSOR TOWNSHIP  
MERCER COUNTY NEW JERSEY

Drawing Title  
**SITE PLAN XII**

Project No.	Drawing No.
130172801	<b>CS112</b>
Date	
12/03/2021	
Drawn By	
WRB	Checked By
CMR	



MATCHLINE: CS112  
MATCHLINE: CS113

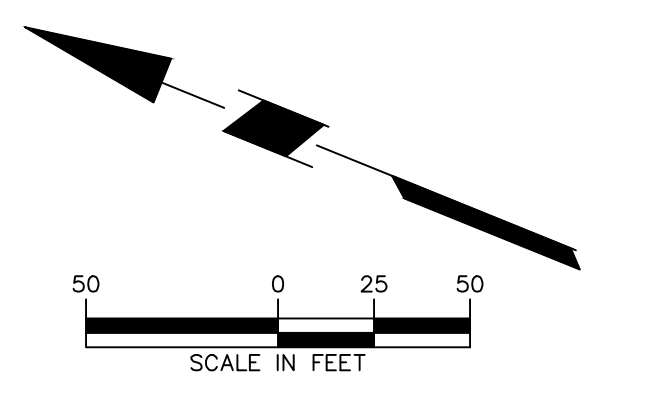
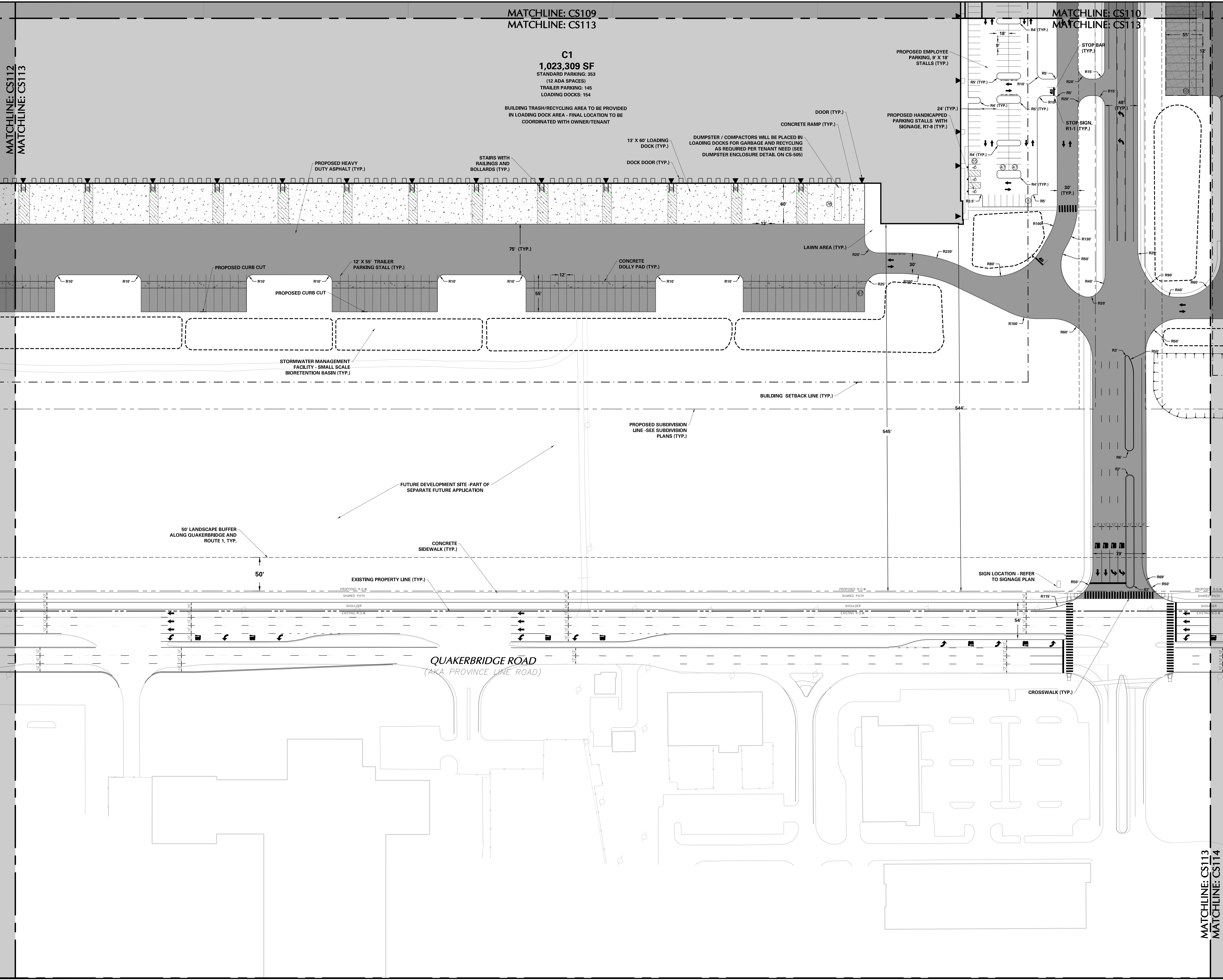
MATCHLINE: CS109  
MATCHLINE: CS113

MATCHLINE: CS110  
MATCHLINE: CS113

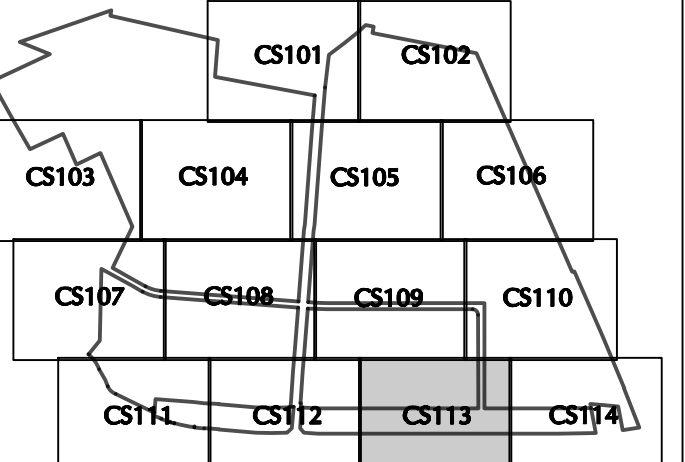
**C1**  
**1,023,309 SF**  
STANDARD PARKING: 353  
(12 ADA SPACES)  
TRAILER PARKING: 145  
LOADING DOCKS: 154

BUILDING TRASH/RECYCLING AREA TO BE PROVIDED  
IN LOADING DOCK AREA - FINAL LOCATION TO BE  
COORDINATED WITH OWNER/TENANT

DUMPSTER / COMPACTORS WILL BE PLACED IN  
LOADING DOCKS FOR GARBAGE AND RECYCLING  
AS REQUIRED PER TENANT NEED (SEE  
DUMPSTER ENCLOSURE DETAIL ON CS-505)



**SHEET LEGEND**



**SITE PLAN LEGEND**

- BUILDING
- CONCRETE AREA/SIDEWALK
- HEAVY DUTY ASPHALT
- CONCRETE CURB
- SUBDIVISION LINE
- RETAINING WALL
- DOOR
- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- FENCE
- RIGHT-OF-WAY
- DEPRESSED CURB
- ADA RAMP WITH DETECTABLE WARNING SURFACE
- PARKING STALL COUNT
- ADA PARKING STALL
- STRIPING
- SIGN
- BOLLARDS
- DOCK DOOR
- DIRECTIONAL ARROWS
- CURB STOP
- STOP BAR
- INFILTRATION BASIN
- STORMWATER QUALITY BASIN
- STAIRS
- FIRE LANE STRIPING

2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1
Date	Description	No.

REVISIONS

*Chris Roche*  
 SIGNATURE CHRISTIAN ROCHE 11/12/2021  
 PROFESSIONAL ENGINEER NJ Lic. No. 245E04988100

**LANGAN**  
 Langan Engineering and  
 Environmental Services, Inc.  
 989 Lenox Drive, Suite 124  
 Lawrenceville, NJ 08648

T: 609.282.8000 F: 609.282.8001 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION No. 245A27986409

Project  
**BRIDGE POINT 8 INDUSTRIAL PARK**  
 WEST WINDSOR TOWNSHIP  
 MERCER COUNTY NEW JERSEY

Drawing Title

**SITE PLAN XIII**

Project No.	130172801	Drawing No.	<b>CS113</b>
Date	12/03/2021	Drawn By	
Checked By	WRB		
	CMR		

MATCHLINE: CS113  
MATCHLINE: CS114

PROJECT NO. 130172801

LANGAN



