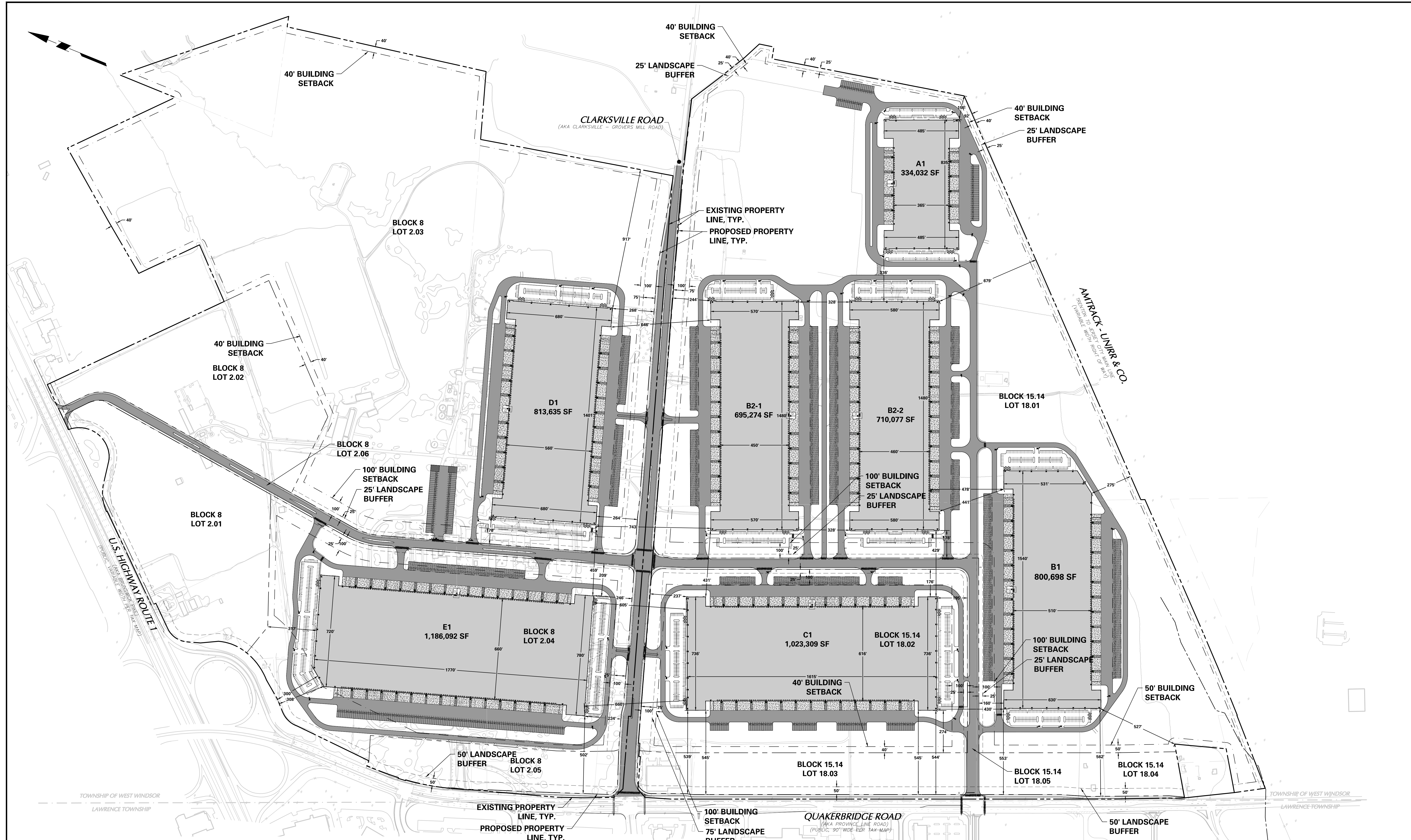


**SUBDIVISION AND SETBACK EXHIBIT**

[Symbol]	BUILDING
[Symbol]	CONCRETE AREA/SIDEWALK
[Symbol]	HEAVY DUTY ASPHALT
[Symbol]	STRIPING
[Symbol]	RETAINING WALL
[Symbol]	CONCRETE CURB
[Symbol]	SUBDIVISION LINE
[Symbol]	PROPERTY LINE
[Symbol]	BUILDING SETBACK LINE
[Symbol]	LANDSCAPE BUFFER LINE
[Symbol]	FENCE
[Symbol]	RIGHT-OF-WAY



**SCHEDULE OF AREA, YARD, AND BULK REQUIREMENTS**  
BLOCK 8, LOTS 1, 2, 3, 12, 16, 20, 28, 32, 03, 39, 40, 41, 45, 46, 47, & 49  
BLOCK 15.14, LOTS 18, 19, 20, 22, & 75  
WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY

Design Details	Required/Allowable	Provided				Is Variance Required? (Yes or No)
		Block 15.14 Proposed Lot 18.01	Block 15.14 Proposed Lot 18.02	Block 8 Proposed Lot 2.03	Block 8 Proposed Lot 2.04	
<b>A. Use</b>	Retail, service commercial, entertainment and hospitality uses located along Quakerbridge Road and US Route 1. Warehouse and distribution uses are encouraged within the remainder of the site.	Warehouse				No
<b>B. Design Criteria</b>	N/A	225.48	56.83	188.99	67.99	No
Minimum Lot Size (Acres)	N/A	225.48	56.83	188.99	67.99	No
Minimum Lot Frontage (feet)	300	Quakerbridge Road: 201 Master Plan Road (N-S): 2,104 Master Plan Road (E-W): 1,024 Clarksville Road: 2,894	Clarksville Road: 1,108 Master Plan Road (N-S): 2,046 Master Plan Road (E-W): 1,120	Master Plan Road: 2,200 Clarksville Road: 2,386	US Route 1/Quakerbridge Road: 1,055 Master Plan Road: 2,405 Clarksville Road: 1,141	No
Minimum Lot Width (feet)	300	Quakerbridge Road: 225 Master Plan Road (N-S): 2,044 Master Plan Road (E-W): 1,275 Clarksville Road: 2,881	Clarksville Road: 1,098 Master Plan Road (N-S): 1,890 Master Plan Road (E-W): 1,093	Master Plan Road: 2,149 Clarksville Road: 2,406	US Route 1/Quakerbridge Road: 1,248 Master Plan Road: 2,308 Clarksville Road: 1,139	No
Minimum Front Yard (Quakerbridge Road) (feet)	50	N/A	N/A	N/A	50/25	No
Minimum Front Yard (US Route 1) (feet)	100	N/A	N/A	N/A	300/50	No
Minimum Front Yard (Clarksville Road) (feet)	100	244.00 (N-S): 178 (E-W): 160	237 (N-S): 176 (E-W): 195	264 176	234 209	No
Minimum Front Yard (Master Plan Road) (feet)	100	N/A	N/A	N/A	N/A	N/A
Minimum Front Yard (other roads) (feet)	50	N/A	N/A	N/A	N/A	N/A
Minimum Rear Yard (feet)	40	92	274	N/A	N/A	No
Minimum Side Yard (feet)	For buildings less than or equal to 40 feet in height: 25 For buildings greater than 40 feet in height: 40 Increase minimum by 25 feet	156	N/A	917	317	No
Minimum Yards Abutting Residential Districts		N/A	N/A	N/A	N/A	No
Minimum Distance Between Buildings (feet)		N/A	N/A	N/A	N/A	No
Required Landscape Buffer From Quakerbridge Road and US Route 1 (feet)	50	>50	N/A	N/A	50	No
Required Landscape Buffer From Master Plan Road (feet)	25	>25	>25	>25	>25	No
Required Landscape Buffer From Clarksville Road (feet)	75	>75	>75	>75	>75	No
Max Impervious Lot Coverage	70%	53%	60%	18%	70%	No

2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1
Date	Description	No.

REVISIONS

*Chris Roche*  
SIGNATURE CHRISTIAN ROCHE 11/12/2021  
PROFESSIONAL ENGINEER NJ Lic. No. 24CE04988100

**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
988 Lenox Drive, Suite 124  
Lawrenceville, NJ 08648

T: 609.282.8000 F: 609.282.8001 www.langan.com  
NJ CERTIFICATE OF AUTHORIZATION No. 24GA0798460

Project **BRIDGE POINT 8 INDUSTRIAL PARK**  
WEST WINDSOR TOWNSHIP  
MERCER COUNTY NEW JERSEY

Drawing Title  
**SUBDIVISION AND SETBACK PLAN**

Project No.	Drawing No.
130172801	CS004
Date	12/03/2021
Drawn By	AMG
Checked By	CMR

