

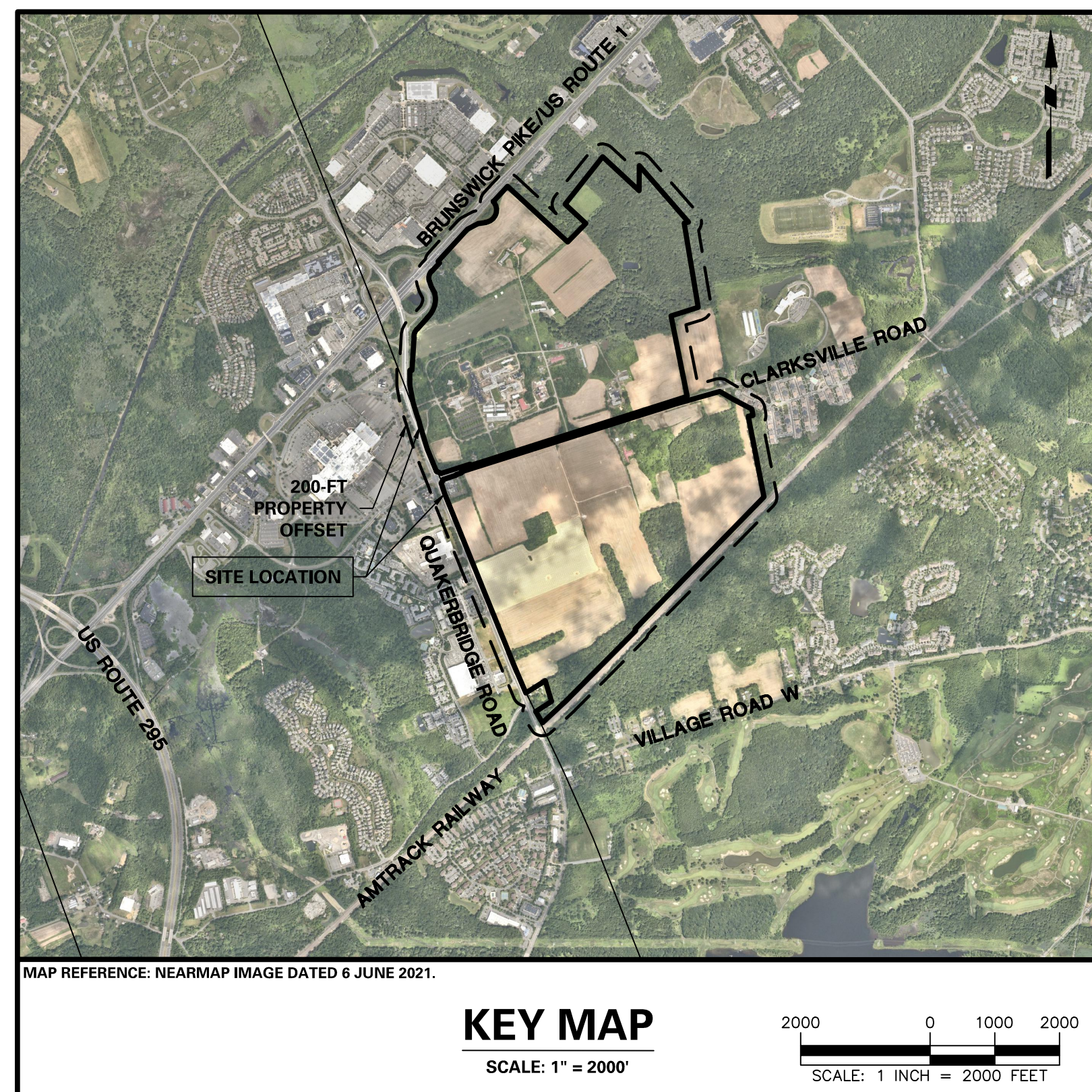
# PRELIMINARY AND FINAL SITE PLAN APPLICATION

FOR

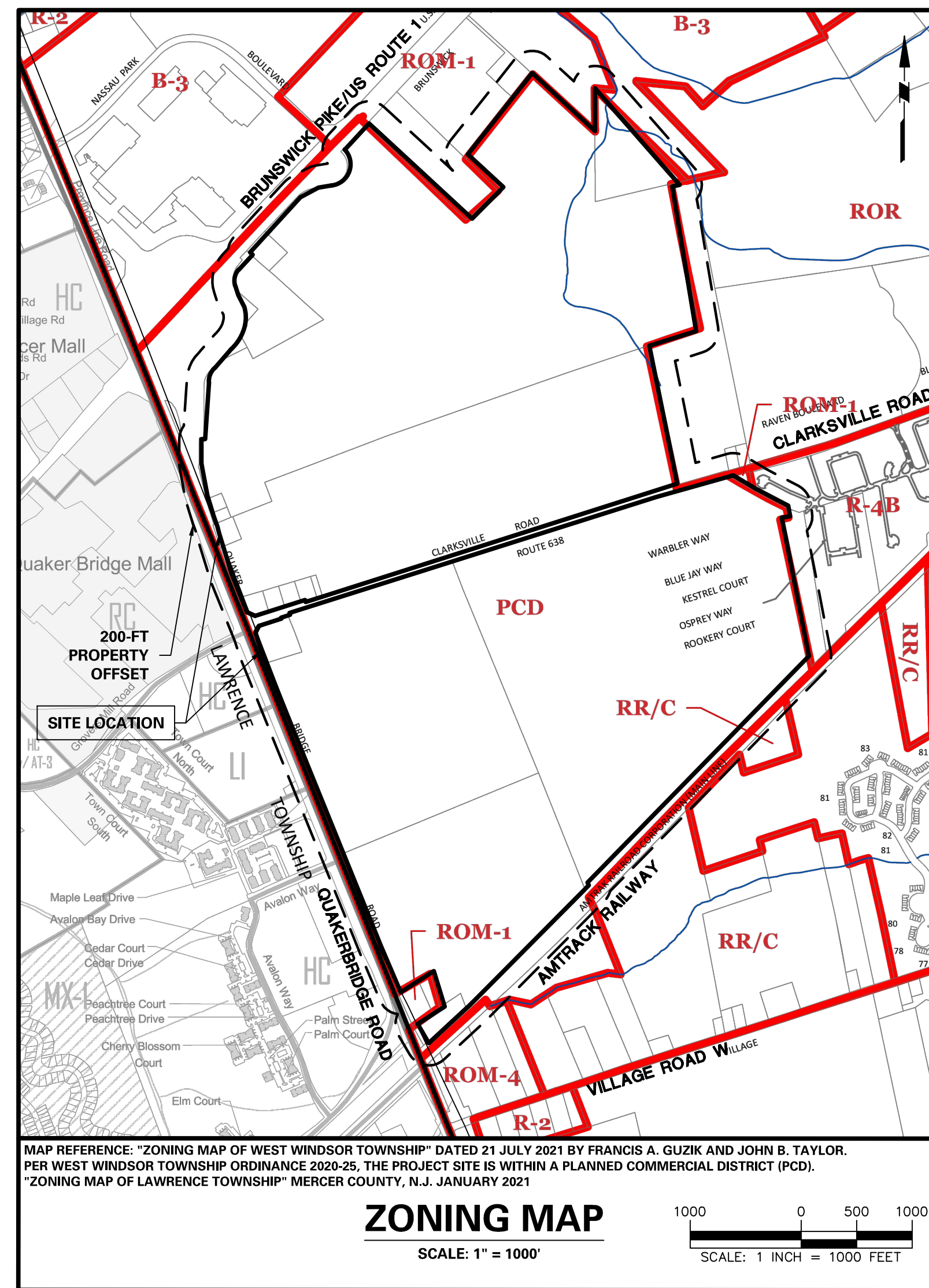
## BRIDGE POINT 8 INDUSTRIAL PARK

BLOCK 8, LOTS 1, 2, 3, 12, 16, 20, 28, 32.01, 39, 40, 41, 45, 46, 47, & 49 AND BLOCK 15.14, LOTS 18, 19, 20, 22, & 75

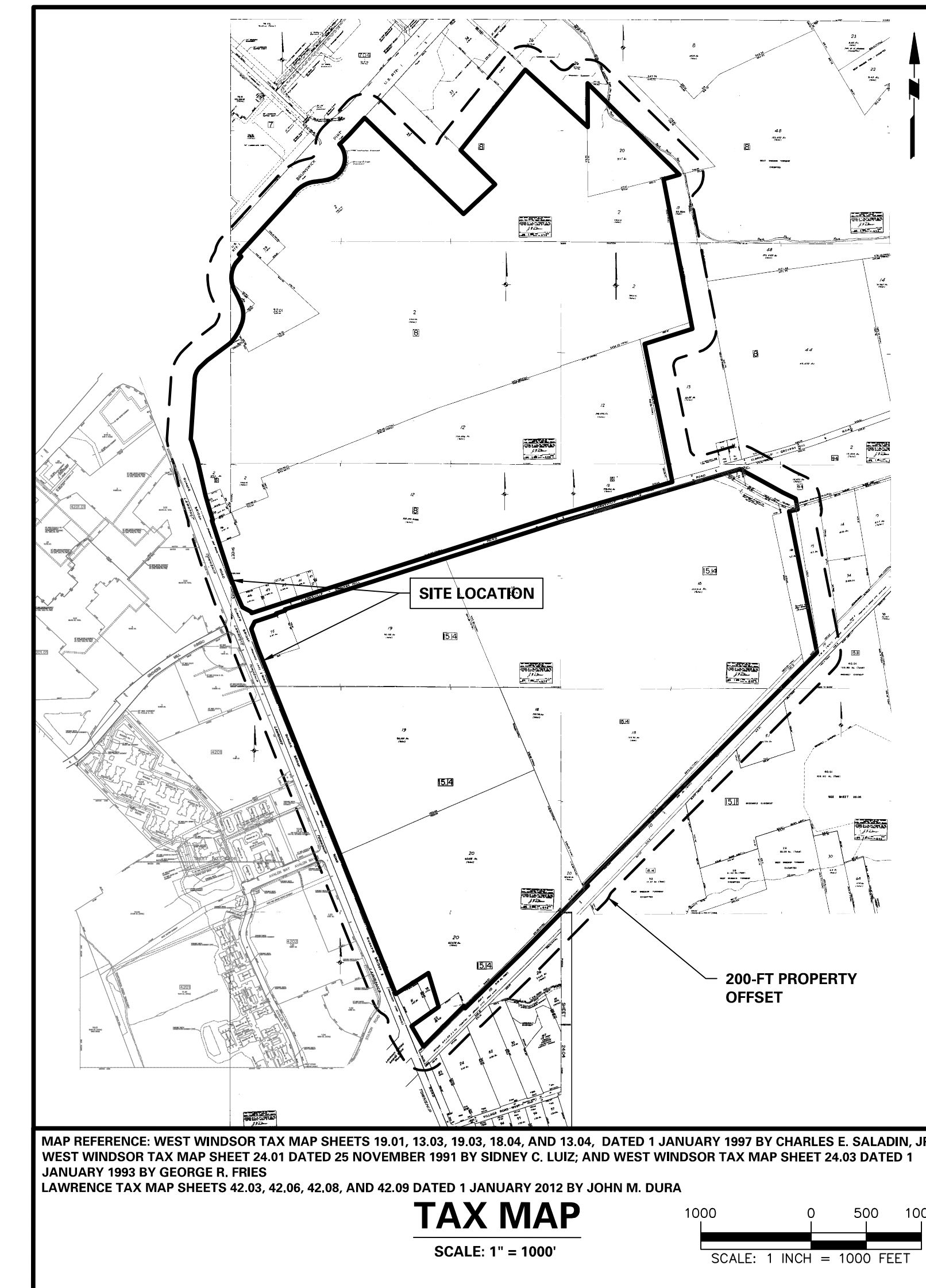
WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY



KEY MAP  
SCALE: 1" = 2000'



ZONING MAP  
SCALE: 1" = 1000'



TAX MAP  
SCALE: 1" = 1000'

DRAWING NUMBER	DRAWING TITLE
CS001	COVER SHEET
CS002	GENERAL NOTES
CS003	TAX MAP PLAN
CS004	SUBDIVISION AND SETBACK PLAN
CS010	OVERALL SIGN PLAN
CS200	OVERALL PHASING PLAN
VL101-0101	ALTA/NSPS LAND TITLE SURVEY
VL101-0102	ALTA/NSPS LAND TITLE SURVEY
VL101-0103	ALTA/NSPS LAND TITLE SURVEY
CB101-0101	MAJOR SUBDIVISION PLAN
CB101-0102	MAJOR SUBDIVISION PLAN
CB101-0103	MAJOR SUBDIVISION PLAN
CB101-0104	MAJOR SUBDIVISION PLAN
CB101-0105	MAJOR SUBDIVISION PLAN
EX100	EXISTING CONSTRAINTS PLAN
CD100	OVERALL DEMOLITION PLAN
CD101	DEMOLITION PLAN I
CD102	DEMOLITION PLAN II
CD103	DEMOLITION PLAN III
CD104	DEMOLITION PLAN IV
CD105	DEMOLITION PLAN V
CD106	DEMOLITION PLAN VI
CD107	DEMOLITION PLAN VII
CD108	DEMOLITION PLAN VIII
CD109	DEMOLITION PLAN IX
CD110	DEMOLITION PLAN X
CD111	DEMOLITION PLAN XI
CD112	DEMOLITION PLAN XII
CD113	DEMOLITION PLAN XIII
CD114	DEMOLITION PLAN XIV
CS100	OVERALL SITE PLAN
CS101	SITE PLAN I
CS102	SITE PLAN II
CS103	SITE PLAN III
CS104	SITE PLAN IV
CS105	SITE PLAN V
CS106	SITE PLAN VI
CS107	SITE PLAN VII
CS108	SITE PLAN VIII
CS109	SITE PLAN IX
CS110	SITE PLAN X
CS111	SITE PLAN XI
CS112	SITE PLAN XII
CS113	SITE PLAN XIII
CS114	SITE PLAN XIV
CG100	OVERALL GRADING & DRAINAGE PLAN
CG101	GRADING & DRAINAGE PLAN I
CG102	GRADING & DRAINAGE PLAN II
CG103	GRADING & DRAINAGE PLAN III
CG104	GRADING & DRAINAGE PLAN IV
CG105	GRADING & DRAINAGE PLAN V
CG106	GRADING & DRAINAGE PLAN VI
CG107	GRADING & DRAINAGE PLAN VII
CG108	GRADING & DRAINAGE PLAN VIII
CG109	GRADING & DRAINAGE PLAN IX
CG110	GRADING & DRAINAGE PLAN X
CG111	GRADING & DRAINAGE PLAN XI
CG112	GRADING & DRAINAGE PLAN XII
CG113	GRADING & DRAINAGE PLAN XIII
CG114	GRADING & DRAINAGE PLAN XIV
CU100	OVERALL UTILITY PLAN
CU101	UTILITY PLAN I
CU102	UTILITY PLAN II
CU103	UTILITY PLAN III
CU104	UTILITY PLAN IV
CU105	UTILITY PLAN V
CU106	UTILITY PLAN VI
CU107	UTILITY PLAN VII
CU108	UTILITY PLAN VIII
CU109	UTILITY PLAN IX
CU110	UTILITY PLAN X
CU111	UTILITY PLAN XI
CU112	UTILITY PLAN XII
CU113	UTILITY PLAN XIII
CU114	UTILITY PLAN XIV
CU115	UTILITY PLAN XV
CU116	UTILITY PLAN XVI
LP100	OVERALL LANDSCAPE PLAN
LP101	SITE PLANTING PLAN I
LP102	SITE PLANTING PLAN II
LP103	SITE PLANTING PLAN III
LP104	SITE PLANTING PLAN IV
LP105	SITE PLANTING PLAN V

DRAWING NUMBER	DRAWING TITLE
LP106	SITE PLANTING PLAN VI
LP107	SITE PLANTING PLAN VII
LP108	SITE PLANTING PLAN VIII
LP109	SITE PLANTING PLAN IX
LP110	SITE PLANTING PLAN X
LP111	SITE PLANTING PLAN XI
LP112	SITE PLANTING PLAN XII
LP113	SITE PLANTING PLAN XIII
LP114	SITE PLANTING PLAN XIV
LP200	OVERALL BASIN LANDSCAPE PLAN
LP201	BASIN LANDSCAPE PLAN I
LP202	BASIN LANDSCAPE PLAN II
LP203	BASIN LANDSCAPE PLAN III
LP204	BASIN LANDSCAPE PLAN IV
LP205	BASIN LANDSCAPE PLAN V
LP206	BASIN LANDSCAPE PLAN VI
LP207	BASIN LANDSCAPE PLAN VII
LP208	BASIN LANDSCAPE PLAN VIII
LP209	BASIN LANDSCAPE PLAN IX
LP210	BASIN LANDSCAPE PLAN X
LP211	BASIN LANDSCAPE PLAN XI
LP212	BASIN LANDSCAPE PLAN XII
LP213	BASIN LANDSCAPE PLAN XIII
LP214	BASIN LANDSCAPE PLAN XIV
LP301	SECTION VIEW I
LP302	SECTION VIEW II
LP303	SECTION VIEW III
LP501	LANDSCAPE NOTES & DETAILS
LP502	LANDSCAPE NOTES & DETAILS
LP503	EXISTING TREE EXHIBIT
LL100	OVERALL LIGHTING PLAN
LL101	SITE LIGHTING PLAN I
LL102	SITE LIGHTING PLAN II
LL103	SITE LIGHTING PLAN III
LL104	SITE LIGHTING PLAN IV
LL105	SITE LIGHTING PLAN V
LL106	SITE LIGHTING PLAN VI
LL107	SITE LIGHTING PLAN VII
LL108	SITE LIGHTING PLAN VIII
LL109	SITE LIGHTING PLAN IX
LL110	SITE LIGHTING PLAN X
LL111	SITE LIGHTING PLAN XI
LL112	SITE LIGHTING PLAN XII
LL113	SITE LIGHTING PLAN XIII
LL114	SITE LIGHTING PLAN XIV
LL501	LIGHTING NOTES & DETAILS
CE100	OVERALL SOIL EROSION & SEDIMENT CONTROL PLAN
CE101	SOIL EROSION & SEDIMENT CONTROL PLAN I
CE102	SOIL EROSION & SEDIMENT CONTROL PLAN II
CE103	SOIL EROSION & SEDIMENT CONTROL PLAN III
CE104	SOIL EROSION & SEDIMENT CONTROL PLAN IV
CE105	SOIL EROSION & SEDIMENT CONTROL PLAN V
CE106	SOIL EROSION & SEDIMENT CONTROL PLAN VI
CE107	SOIL EROSION & SEDIMENT CONTROL PLAN VII
CE108	SOIL EROSION & SEDIMENT CONTROL PLAN VIII
CE109	SOIL EROSION & SEDIMENT CONTROL PLAN IX
CE110	SOIL EROSION & SEDIMENT CONTROL PLAN X
CE111	SOIL EROSION & SEDIMENT CONTROL PLAN XI
CE112	SOIL EROSION & SEDIMENT CONTROL PLAN XII
CE113	SOIL EROSION & SEDIMENT CONTROL PLAN XIII
CE114	SOIL EROSION & SEDIMENT CONTROL PLAN XIV
CE501	SOIL EROSION & SEDIMENT CONTROL DETAILS
CE502	SOIL EROSION & SEDIMENT CONTROL DETAILS
CP101	TRUCK MOVEMENT PLAN I
CP102	TRUCK MOVEMENT PLAN II
CP103	TRUCK MOVEMENT PLAN III
CP104	TRUCK MOVEMENT PLAN IV
CP105	TRUCK MOVEMENT PLAN V
CP106	TRUCK MOVEMENT PLAN VI
CP107	TRUCK MOVEMENT PLAN VII
CP108	TRUCK MOVEMENT PLAN VIII
CP109	TRUCK MOVEMENT PLAN IX
CP110	TRUCK MOVEMENT PLAN X
CP111	TRUCK MOVEMENT PLAN XI
CP112	TRUCK MOVEMENT PLAN XII
CP113	TRUCK MOVEMENT PLAN XIII
CP114	TRUCK MOVEMENT PLAN XIV
KT101	EMERGENCY VEHICLE MOVEMENT PLAN I
KT102	EMERGENCY VEHICLE MOVEMENT PLAN II
KT103	EMERGENCY VEHICLE MOVEMENT PLAN III
KT104	EMERGENCY VEHICLE MOVEMENT PLAN IV
KT105	EMERGENCY VEHICLE MOVEMENT PLAN V
KT106	EMERGENCY VEHICLE MOVEMENT PLAN VI
KT107	EMERGENCY VEHICLE MOVEMENT PLAN VII
KT108	EMERGENCY VEHICLE MOVEMENT PLAN VIII
KT109	EMERGENCY VEHICLE MOVEMENT PLAN IX
KT110	EMERGENCY VEHICLE MOVEMENT PLAN X
KT111	EMERGENCY VEHICLE MOVEMENT PLAN XI
KT112	EMERGENCY VEHICLE MOVEMENT PLAN XII
KT113	EMERGENCY VEHICLE MOVEMENT PLAN XIII
KT114	EMERGENCY VEHICLE MOVEMENT PLAN XIV
CS501	SITE DETAILS
CS502	SITE DETAILS
CS503	SITE DETAILS
CS504	SITE DETAILS
CS505	SITE DETAILS

DRAWING NUMBER	DRAWING TITLE
A101	PROPOSED FLOOR PLAN - FACILITY A-1
A102	PROPOSED FLOOR PLAN - FACILITY B-1
A103	PROPOSED FLOOR PLAN - FACILITY B-2
A104	PROPOSED FLOOR PLAN - FACILITY B-2
A105	PROPOSED FLOOR PLAN - FACILITY C-1
A106	PROPOSED FLOOR PLAN - FACILITY D-1
A107	PROPOSED FLOOR PLAN - FACILITY E-1
A201	PROPOSED ELEVATIONS - FACILITY A-1
A202	PROPOSED ELEVATIONS - FACILITY B-1
A203	PROPOSED ELEVATIONS - FACILITY B-2
A204	PROPOSED ELEVATIONS - FACILITY B-2
A205	PROPOSED ELEVATIONS - FACILITY C-1
A206	PROPOSED ELEVATIONS - FACILITY D-1
A207	PROPOSED ELEVATIONS - FACILITY E-1

**LEGEND**

(PRELIMINARY) or (FINAL)

1. SITE PLAN OF BRIDGE POINT 8 INDUSTRIAL PARK  
BLOCK 8 AND 15.14 LOT 1, 2, 3, 12, 16, 20, 28, 32.01, 39, 40, 41, 45, 46, 47, & 49  
DATE: 11/12/2021 SCALE: 1"=50'

2. I CONSENT TO THE PLANS OF THIS SITE PLAN WITH THE TOWNSHIP PLANNING BOARD OF WEST WINDSOR TOWNSHIP.

3. To be signed before issuance of a Building Permit and incorporated only on a Final Site Plan (as applicable).

I HEREBY CERTIFY THAT A BOND HAS BEEN POSTED FOR ALL THE REQUIRED IMPROVEMENTS IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

4. To be incorporated only on Final Site Plan and signed prior to issuance of a Building Permit. VERIFICATION THAT PAYMENT OF MUNICIPAL TAXES OR ASSESSMENTS IS CURRENT.

5. APPROVED BY THE PLANNING BOARD (Preliminary Approval Date) (Final Approval Date).

6. APPROVED BY THE HEALTH OFFICER.

7. EXPIRATION OF APPROVAL (PRELIMINARY - 3 YEARS; FINAL - 2 YEARS).

SECRETARY OF THE HEALTH DEPARTMENT SIGNATURE

BUILDING	PERIMETER FRONTING STREET (FT)	BUILDING PERIMETER (FT)	TOTAL PERIMETER (FT)	% PERIMETER FRONTING STREET TO TOTAL PERIMETER
E1	2,689	5,397	5,397	52%
C1	3,234	4,979	4,979	65%
B1	1,669	4,432	4,432	38%
D1	2,219	4,439	4,439	50%
B2-1	2,189	4,378	4,378	50%
B2-2	2,198	4,358	4,358	50%
A1	496	2,920	2,920	17%

The "Perimeter Fronting Street" was calculated for each building as follows:  
E1: Along Clarksville Road to the South and the proposed roadway to the East.  
C1: Along Clarksville Road to the North and the proposed roadway to the East and South.  
B1: Along the proposed roadway to the North.  
D1: Along Clarksville Road to the South and the proposed roadway to the West.  
B2-1: Along Clarksville Road to the North and the proposed roadway to the West.  
B2-2: Along the proposed roadway to the West and South.  
A1: Along the proposed driveway to the West.

Design Details	Required/Allowable	SCHEDULE OF AREA, YARD, AND BULK REQUIREMENTS				Is Variance Required? (Yes or No)
		Block 15.14 Proposed Lot 18.01	Block 15.14 Proposed Lot 18.02	Block 8 Proposed Lot 2.03	Block 8 Proposed Lot 2.04	
A. Use	Retail, service commercial, entertainment and hospitality uses located along Quakerbridge Road and US Route 1. Warehouse and distribution uses are encouraged within the remainder of the site.	Warehouse			No	
B. Design Criteria						
Minimum Lot Size (Acres)	N/A	225.48	56.83	188.99	67.99	No
Minimum Lot Frontage (feet)	300	Quakerbridge Road: 201 Master Plan Road (N-S): 2,104 Clarksville Road: 2,894	Clarksville Road: 1,108 Master Plan Road (N-S): 2,046 Master Plan Road (E-W): 1,120	Master Plan Road: 2,250 Clarksville Road: 2,386	US Route 1/Quakerbridge Road: 1,055 Master Plan Road: 2,405 Clarksville Road: 1,141	No
Minimum Lot Width (feet)	300	Quakerbridge Road: 125 Master Plan Road (N-S): 2,044 Master Plan Road (E-W): 1,275 Clarksville Road: 2,981	Clarksville Road: 1,098 Master Plan Road (N-S): 1,890 Master Plan Road (E-W): 1,093	Master Plan Road: 2,149 Clarksville Road: 2,406	US Route 1/Quakerbridge Road: 1,248 Master Plan Road: 2,308 Clarksville Road: 1,139	No
Minimum Front Yard (Quakerbridge Road) (feet)	50	N/A	N/A	N/A	50	No
Minimum Front Yard (US Route 1) (feet)	100	N/A	N/A	N/A	300	No
Minimum Front Yard (Clarksville Road) (feet)	100	244.00 (N-S): 178 (E-W): 160	237 (N-S): 176 (E-W): 195	264	234	No
Minimum Front Yard (Master Plan Road) (feet)	100	N/A	N/A	176	209	No
Minimum Front Yard (other roads) (feet)	50	N/A	N/A	N/A	N/A	N/A
Minimum Rear Yard (feet)	40	92	274	N/A	N/A	No
Minimum Side Yard (feet)	For buildings less than or equal to 40 feet in height: 25 For buildings greater than 40 feet in height: 40	156	917	917	317	No
Minimum Yards Abutting Residential Districts	Increase minimum by 25 feet	156	N/A	N/A	N/A	No
Minimum Distance Between Buildings (feet)	25	328	N/A	N/A	N/A	No
Required Landscape Buffer						
From Quakerbridge Road and US Route 1 (feet)	50	>50	N/A	N/A	N/A	No
Required Landscape Buffer From Master Plan Road (feet)	>25	>25	>25	>25	>25	No
Required Landscape Buffer From Clarksville Road (feet)	>75	>75	>75	>75	>75	No
Max Impervious Lot Coverage	70%	51%	69%	18%	70%	No

Note:  
(1) Zoning requirements obtained from Township of West Windsor "ORDINANCE 2020-25" dated 11/18/2020.  
(2) Lot width taken at 300-ft setback from US Route 1 and Quakerbridge Road.  
(3) Minimum building setback from US Route 1 or Quakerbridge Road for warehouse and distribution facilities is 300-ft.  
(4) Side Yard East of Building A1 abuts a Residential District, therefore the minimum yard is 65-ft.

CALL BEFORE YOU DIG TO LOCATE UNDERGROUND UTILITIES  
1 (800) 272-1000  
FOR FREE MARKINGS TO LOCATE UNDERGROUND UTILITIES  
CALL AT LEAST 3 DAYS PRIOR TO GROUND DISTURBANCE

CALL BEFORE YOU DIG

**PHASING:**  
THE APPLICANT IS REQUESTING PRELIMINARY/FINAL SITE PLAN APPROVAL FOR PHASE 1 OF THE PROJECT. PHASE 1 INCLUDES BUILDINGS E1, C1, B1 AND ASSOCIATED ROADS AND PARKING.

THE APPLICANT IS REQUESTING PRELIMINARY SITE PLAN APPROVAL FOR PHASE 2 OF THE PROJECT. PHASE 2 INCLUDES BUILDINGS D1, B2-1, B2-2, A1 AND ASSOCIATED ROADS AND PARKING.

THE APPLICANT IS REQUESTING PRELIMINARY/FINAL SUBDIVISION APPROVAL FOR PHASE 1 AND PHASE 2.

Pursuant to N.J.S.A. 40:55D-52(b) and N.J.S.A. 40:55D-49(g), the Applicant requests an initial vesting period of ten (10) years for the Preliminary and Final Site Plan and Subdivision approvals. For larger projects, such as a site plan involving more than 150 acres or nonresidential floor area over 200,000 square feet, a developer has the ability to request a longer initial vesting period from the Planning Board. In making this determination, the Board considers certain factors, including the following: non-residential floor area, economic conditions and the comprehensiveness of the proposed development. Given the size and scope of this development, the Applicant far exceeds the minimum requirements, and an initial vesting period of ten (10) years is appropriate.

**PROJECT CONTACTS**

**APPLICANT/OWNER:** Bridge Point West Windsor, LLC  
c/o Bridge Industrial  
One Gatehall Drive - Suite 201  
Parsippany, NJ 07054  
Steve Poulos - Chief Executive Officer  
Sean Zasche - Chief Financial Officer  
Steve Groetsema - Chief Operating Officer

Clarksville Center, LLC  
c/o Atlantic Realty Development Corp.  
90 Woodbridge Center Drive  
Woodbridge, NJ 07095

Scholar's Meadow, LLC  
c/o Atlantic Realty Development Corp.  
90 Woodbridge Center Drive  
Woodbridge, NJ 07095

**SITE/CIVIL ENGINEER:** LANGAN  
989 Lenox Drive, Suite 124  
Lawrenceville, NJ 08648  
(609) 282-8000

Date	Description	No.
2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1

REVISIONS

Signature: *Chris Roche*  
CHRISTIAN ROCHE 11/12/2021  
PROFESSIONAL ENGINEER NJ Lic. No. 240E04988100

**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
989 Lenox Drive, Suite 124  
Lawrenceville, NJ 08648  
T: 609.282.8000 F: 609.282.8001 www.langan.com  
NJ CERTIFICATE OF AUTHORIZATION No. 26A0799640

**BRIDGE POINT 8 INDUSTRIAL PARK**  
WEST WINDSOR TOWNSHIP  
MERCER COUNTY NEW JERSEY  
Drawing Title

**COVER SHEET**

Project No. 130172801  
Date 12/03/2021  
Drawn By SLK  
Checked By CMK

Drawing No. CS001